

BILL EMLÉN
Director
(707) 784-6765

TERRY SCHMIDTBAUER
Assistant Director
(707) 784-6765

MIKE YANKOVICH
Planning Services Manager
(707) 784-6765

DEPARTMENT OF RESOURCE MANAGEMENT



**SOLANO
COUNTY**

675 Texas Street, Suite 5500
Fairfield, CA 94533-6342
(707) 784-6765
Fax (707) 784-4805

www.solanocounty.com

Planning Services Division

SOLANO COUNTY ZONING ADMINISTRATOR

**Staff Report
MU-16-01**

Application No. MU-16-01 (King) Project Planner: Eric Wilberg, Planner Associate		Meeting of April 21, 2016 Agenda Item No. 2	
Applicant Charles and Sharon King 402 Vine Street Vacaville, CA 95688		Property Owner same	
Action Requested Consideration of Minor Use Permit application MU-16-01 to permit residential accessory structure square footage exceeding 2,500 sq. ft.			
Property Information			
Size: 2.10 acres		Location: 402 Vine Street	
APN: 0129-010-150			
Zoning: Rural Residential (RR2.5)		Land Use: Residence	
General Plan: Urban Residential		Ag. Contract: n/a	
Utilities: Well and septic		Access: Vine Street	
Adjacent General Plan Designation, Zoning District, and Existing Land Use			
	General Plan	Zoning	Land Use
North	City of Vacaville	City of Vacaville	Residential
South	City of Vacaville	City of Vacaville	Residential
East	City of Vacaville	City of Vacaville	Residential
West	Urban Residential	Rural Residential (RR2.5)	Vaca Fire Dept.
Environmental Analysis The project qualifies for a Class I Categorical Exemption from the California Environmental Quality Act pursuant to CEQA Guidelines Section 15303, Small Structures.			
Motion to Approve The Zoning Administrator does hereby ADOPT the attached resolution and APPROVE Minor Use Permit No. MU-16-01 based on the enumerated findings and subject to the recommended conditions of approval.			

BACKGROUND

On September 23, 2015 Charles and Sharon King filed building permit B2015-0777 to permit an as-built 2,267 sq. ft. residential accessory structure. On September 24, Planning staff issued a correction notice requesting a revised site plan, accessory structure questionnaire, and identified the requirement for issuance of a Minor Use Permit for aggregate accessory structure square footage. On February 18, 2016 the applicant filed a Minor Use Permit application.

SETTING

The project is located along Vine Street within an unincorporated residential area adjacent to the City of Vacaville. The entire 2.10 acre parcel is relatively flat, exhibiting slopes of less than six percent. The property is developed with a primary residence, garage, and a barn. In general, the area surrounding the subject site is residential in nature with parcels varying in size from 0.50 – 11 acres in size. The Vacaville Fire Protection District operates a fire station adjacent to and west of the project site.

PROJECT DESCRIPTION

The project involves permitting an as-built 2,267 square foot residential accessory structure which exceeds the allowed by right lot coverage threshold for Rural Residential zoned property. The application states the building would be utilized for personal vehicle storage.

The structure is situated near the western property line, adjacent to a paved driveway on the Vacaville Fire Protection District property (APN 0129-010-160). As shown on the development plans, the existing building is separated into a lower storage room and an upper storage room. The site plan shows the lower storage room set back approximately 4 feet from the western lot line and the upper storage room at the lot line. The shared, western property line is developed with a concrete masonry unit (CMU) wall. The site plan also labels a 10 foot wide “no build easement” adjacent to the storage building on the fire district parcel.

ANALYSIS

Rural Residential Zoning Regulations require issuance of a Minor Use Permit for accessory building square footage that exceeds 2,500 sq. ft. on parcels less than four acres in size. In addition to the proposed as-built structure, there is also an existing 1,630 sq. ft. barn on-site. The combined square footage of these two residential accessory structures is 3,897 sq. ft., thus triggering the minor use permit requirement.

Within the RR2.5 District, residential accessory structures are required to be set back 10 feet from side property lines; however Table 28.31(c) of the Zoning Regulations states that the side or rear yard requirements may be waived for an accessory building other than an animal shelter, except that such building shall not be located closer to any side street line than the main building.

ENVIRONMENTAL ANALYSIS

The project qualifies for a Class 3 Categorical Exemption from the California Environmental Quality Act pursuant to CEQA Guidelines Section 15303(e), New Construction of Small Structures. Class 3 consists of construction and location of limited numbers of new, small facilities or structures; including accessory (appurtenant) structures such as garages, carports, patios, swimming pools, and fences.

RECOMMENDATION

The Department recommends that the Zoning Administrator **ADOPT** the enumerated findings, and **APPROVE** Minor Use Permit No. MU-16-01, subject to the recommended conditions of approval.

MINOR USE PERMIT MANDATORY FINDINGS

1. **That the establishment, maintenance or operation of the use or building is in conformity to the General Plan for the County with regard to traffic circulation, population densities and distribution, and other aspects of the General Plan considered by the Zoning Administrator to be pertinent.**

The General Plan Land Use Diagram identifies this property as Urban Residential and within the Municipal Service Area of the City of Vacaville. This designation provides for urban densities of residential development and is intended to be annexed to a city in the future. The property is currently developed with a residence and residential accessory structures consistent with the General Plan.

2. **Adequate utilities, access roads, drainage and other necessary facilities have been or are being provided.**

The property is developed with a residence and accompanying domestic water well and private septic system. Access is provided via Vine Street.

3. **The subject use will not, under the circumstances of this particular case, constitute a nuisance or be detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in or passing through the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.**

The residential accessory structure to be utilized for vehicle storage is characteristic of the rural residential neighborhood, and is compatible with the surrounding land uses. The proposed land use does not constitute a nuisance nor is it detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in or passing through the neighborhood, nor is it detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County of Solano.

ADDITIONAL FINDINGS

4. The project qualifies for a Class 3 Categorical Exemption from the California Environmental Quality Act pursuant to CEQA Guidelines Section 15303(e), New Construction of Small Structures. Class 3 consists of construction and location of limited numbers of new, small facilities or structures; including accessory (appurtenant) structures such as garages, carports, patios, swimming pools, and fences.

CONDITIONS OF APPROVAL

General

1. The permitted residential accessory structure shall be maintained in accord with the application materials and development plans for Minor Use Permit MU-16-01, filed

February 18, 2016 by Charles and Sharon King, and as approved by the Solano County Zoning Administrator.

2. The residential accessory use shall be developed and operated with the terms and conditions of this permit. No additional accessory uses, new or expanded buildings shall be established or constructed beyond those identified on the approved plot plan without prior approval of a revised, amended, or new permit and subject to further environmental review.
3. The permittee shall take such measures to prevent offensive noise, dust, glare, vibration, or odor. All uses of land and buildings shall be conducted in a manner, and provide adequate controls and operational management to prevent:
 - a. Dust, glare, vibration which are detectable beyond any property line, and
 - b. Noise that exceeds 65dBA LDN at any property line.

Building and Safety Division

4. Prior to any construction or improvements taking place, a Building Permit Application shall first be submitted as per the 2013 California Building Code, or the latest edition enforced at the time of building permit application. "Any owner or authorized agent who intends to construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or to erect, install, enlarge, alter, repair, remove, convert or replace any electrical, gas, mechanical or plumbing system, the installation of which is regulated by this code, or to cause any such work to be done, shall first make application to the building official and obtain the required permit."

Permit Term

5. The Minor Use Permit shall be in effect for an indefinite term subject to periodic renewal every five (5) years, beginning April 21, 2021. The Zoning Administrator shall administratively approve the renewal if the following criteria are met:
 - 1) The permittee has filed a renewal application
 - 2) The permittee has paid the renewal application fee as set by the Board of Supervisors
 - 3) The use is being conducted in compliance with all conditions

Attachments

- A – Draft Resolution
- B – Assessor's Parcel Map
- C – Development Plans
- D – Photographs

SOLANO COUNTY ZONING ADMINISTRATOR RESOLUTION NO. XX

WHEREAS, the Solano County Zoning Administrator has considered Minor Use Permit Application No. MU-16-01 of **Charles and Sharon King** to permit residential accessory structure square footage exceeding 2,500 sq. ft. The property is located at 402 Vine Street, Vacaville, in an "RR-2.5" Rural Residential Zoning District, APN: 0129-010-150, and;

WHEREAS, said Zoning Administrator has reviewed the report of the Department of Resource Management and heard testimony relative to the subject application at the duly noticed public hearing held on April 21, 2016, and;

WHEREAS, after due consideration, the Zoning Administrator has made the following findings in regard to said proposal:

1. **That the establishment, maintenance or operation of the use or building is in conformity to the General Plan for the County with regard to traffic circulation, population densities and distribution, and other aspects of the General Plan considered by the Zoning Administrator to be pertinent.**

The General Plan Land Use Diagram identifies this property as Urban Residential and within the Municipal Service Area of the City of Vacaville. This designation provides for urban densities of residential development and is intended to be annexed to a city in the future. The property is currently developed with a residence and residential accessory structures consistent with the General Plan.

2. **Adequate utilities, access roads, drainage and other necessary facilities have been or are being provided.**

The property is developed with a residence and accompanying domestic water well and private septic system. Access is provided via Vine Street.

3. **The subject use will not, under the circumstances of this particular case, constitute a nuisance or be detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in or passing through the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.**

The residential accessory structure to be utilized for vehicle storage is characteristic of the rural residential neighborhood, and is compatible with the surrounding land uses. The proposed land use does not constitute a nuisance nor is it detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in or passing through the neighborhood, nor is it detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County of Solano.

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BE IT THEREFORE RESOLVED, that the Zoning Administrator has approved Minor Use Permit Application No. MU-16-01 subject to the following recommended conditions of approval:

General

1. The permitted residential accessory structure shall be maintained in accord with the application materials and development plans for Minor Use Permit MU-16-01, filed February 18, 2016 by Charles and Sharon King, and as approved by the Solano County Zoning Administrator.
2. The residential accessory use shall be developed and operated with the terms and conditions of this permit. No additional accessory uses, new or expanded buildings shall be established or constructed beyond those identified on the approved plot plan without prior approval of a revised, amended, or new permit and subject to further environmental review.
3. The permittee shall take such measures to prevent offensive noise, dust, glare, vibration, or odor. All uses of land and buildings shall be conducted in a manner, and provide adequate controls and operational management to prevent:
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 - 1) The permittee has filed a renewal application.

- 2) The permittee has paid the renewal application fee as set by the Board of Supervisors.
- 3) The use is being conducted in compliance with all conditions.

I hereby certify that the foregoing resolution was adopted at the regular meeting of the Solano County Zoning Administrator on April 21, 2016.

BILL EMLLEN, DIRECTOR
RESOURCE MANAGEMENT

Michael Yankovich
Planning Program Manager

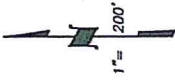
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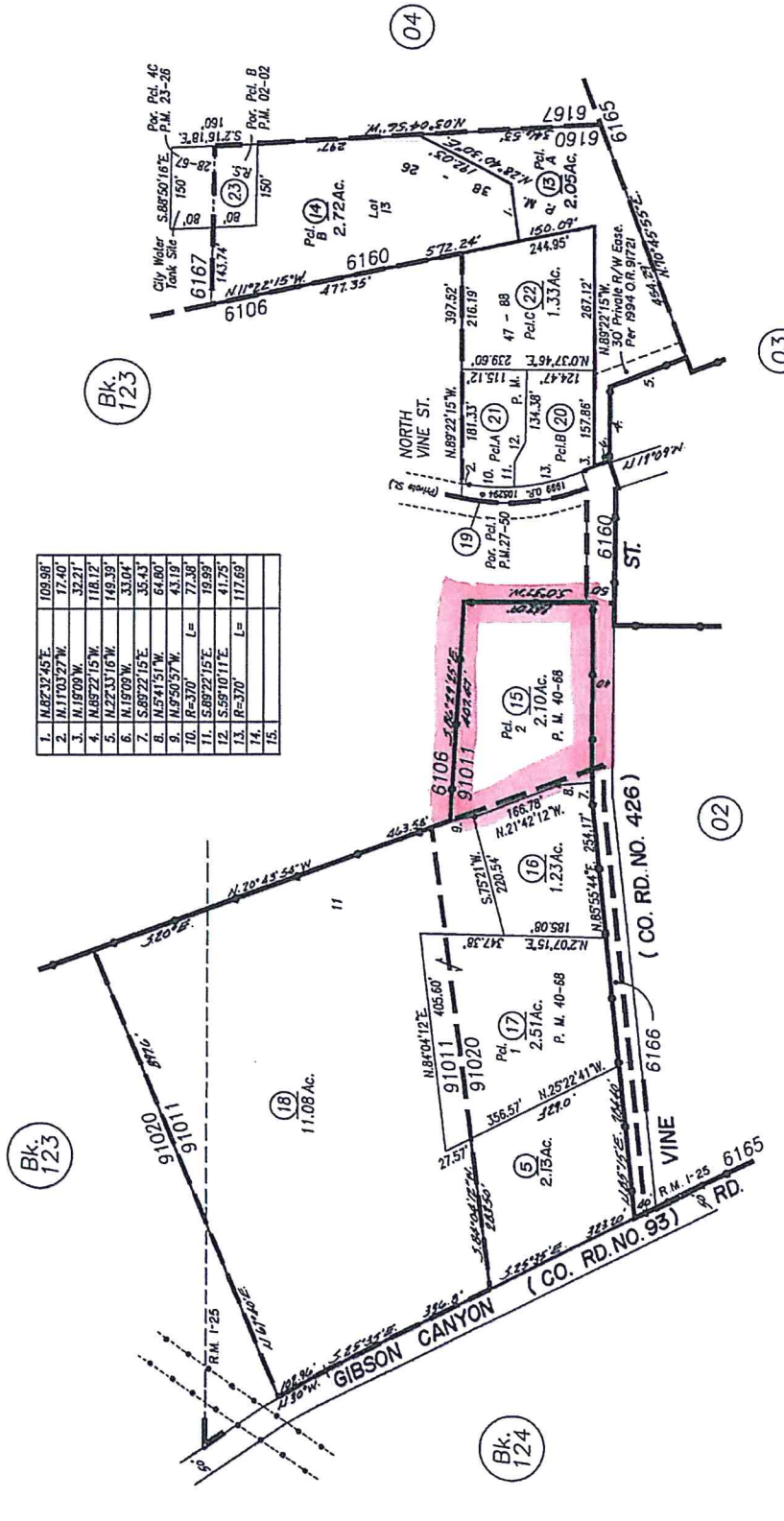
Tax Area Code

6160
91011
91020

POR. LOT 37, RANCHO LOS PUTOS
POR. SEC. 8, T.6N., R.1W., M.D.B. & M. EXT.



1.	N.87°32'45"E.	109.98'
2.	M.1°03'27"W.	17.40'
3.	M.19°09"W.	32.21'
4.	N.89°22'15"W.	118.12'
5.	N.22°33'16"W.	149.39'
6.	M.19°09"W.	33.04'
7.	S.89°22'15"E.	35.43'
8.	N.54°51'W.	64.80'
9.	M.5°50'57"W.	43.19'
10.	R.3°00'00"W.	L= 71.38'
11.	S.89°22'15"E.	10.89'
12.	S.89°10'11"E.	41.75'
13.	R.5°10'00"W.	L= 117.69'
14.		
15.		



REVISION	DATE	BY
010-23 (05)	5-06-08 JS	
010-23 (06)	3-06-08 JS	
010-16,18 (09)	1-10-07 CR	
010-20,21,422 (09)	6-6-06 CR	

NOTE: This map is for assessment purposes only. It is not intended to define legal boundary rights or imply compliance with land division laws.

Pierce Estate, R.M. Bk. 1 Pg. 25

Assessor's Block Numbers Shown in Ellipses, Assessor's Parcel Numbers Shown in Circles

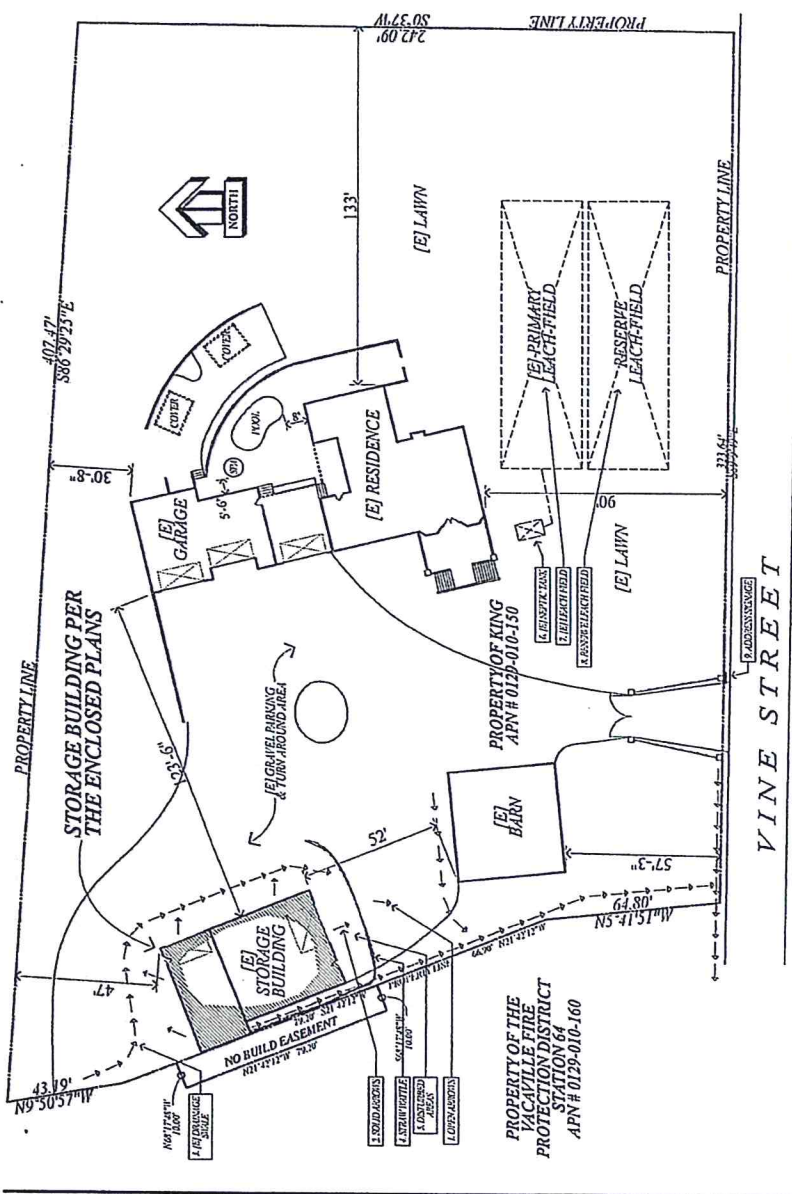
CITY OF VACAVILLE & VICINITY
Assessor's Map Bk. 129 Pg. 01
County of Solano, Calif.

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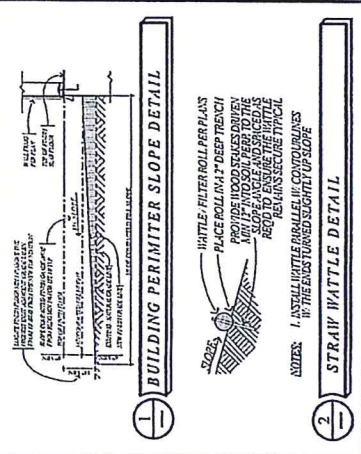
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THESE PLANS ARE CONSIDERED PRELIMINARY AND NOT FOR CONSTRUCTION UNLESS THESE PLANS BEAR A MET SIGNATURE OF JAMES GEORGE, ALONG WITH THE COVENING AGENCY'S REVIEW SEAL OF APPROVAL AND MET SIGNATURE.



SITE PLAN
 SCALE: 1/8"=1'-0"

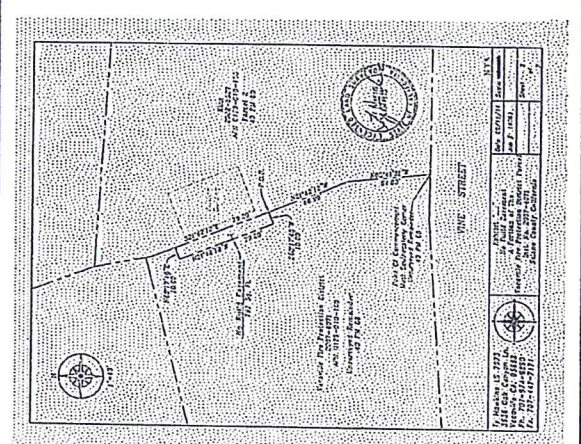
- SITE PLAN KEY NOTES:**
- Open areas below the existing ground surface shall be graded to match UDN.
 - Grading shall be done in accordance with the approved grading plan. Grading shall be done in accordance with the approved grading plan. Grading shall be done in accordance with the approved grading plan.
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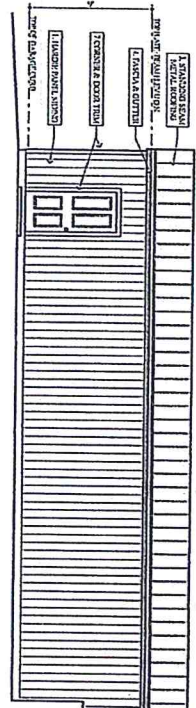


SEE THE VACAVILLE FIRE PROTECTION DISTRICT NOTES ON SHEET A1

SEE THE CAL FIRE SBA REQUIREMENTS ON SHEET A2

- SITE REQUIREMENTS:**
- Building shall not be located on any fill unless the fill is certified by a soils engineer as composed of approved fill material.
 - Any new wall, foundation, or other structure shall be constructed on a minimum of 18" of compacted fill.
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NORTH SIDE EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATIONS KEY NOTES:

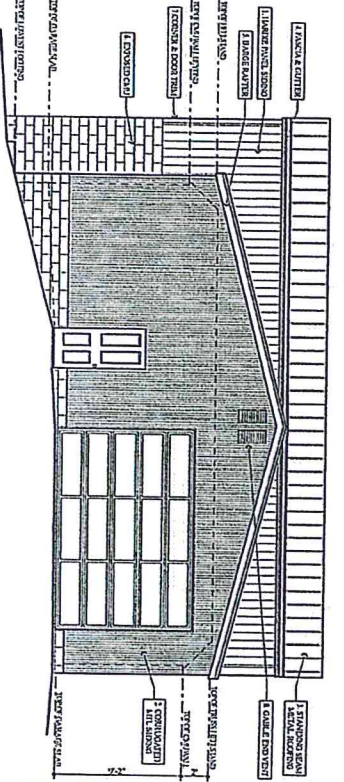
1. All exterior elevations shall be finished in accordance with the following requirements:
 - a. All exterior walls shall be finished with a minimum of 1/2" of Type S mortar and a minimum of 1/2" of 5/8" mesh galvanized steel lath applied over the exterior masonry.
 - b. All exterior walls shall be finished with a minimum of 1/2" of Type S mortar and a minimum of 1/2" of 5/8" mesh galvanized steel lath applied over the exterior masonry.
 - c. All exterior walls shall be finished with a minimum of 1/2" of Type S mortar and a minimum of 1/2" of 5/8" mesh galvanized steel lath applied over the exterior masonry.
 - d. All exterior walls shall be finished with a minimum of 1/2" of Type S mortar and a minimum of 1/2" of 5/8" mesh galvanized steel lath applied over the exterior masonry.
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VACAVILLE FIRE PROTECTION DIST. REQUIREMENTS:

1. Fireproofing:
 - a. All exterior walls shall be finished with a minimum of 1/2" of Type S mortar and a minimum of 1/2" of 5/8" mesh galvanized steel lath applied over the exterior masonry.
 - b. All exterior walls shall be finished with a minimum of 1/2" of Type S mortar and a minimum of 1/2" of 5/8" mesh galvanized steel lath applied over the exterior masonry.
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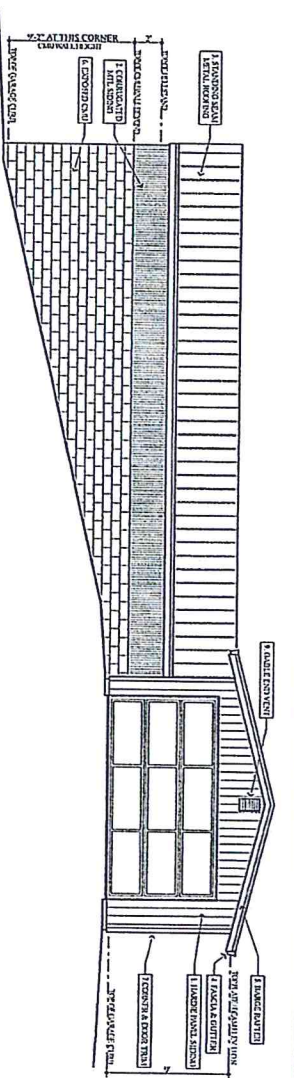
CAL FIRE SRA REQUIREMENTS:

SEE THE CAL FIRE REQUIREMENTS DOCUMENT



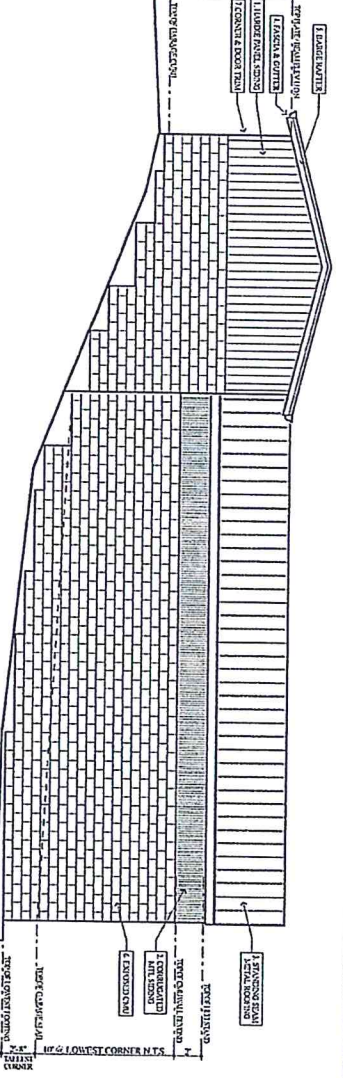
SOUTH SIDE EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



EAST SIDE EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



WEST SIDE EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

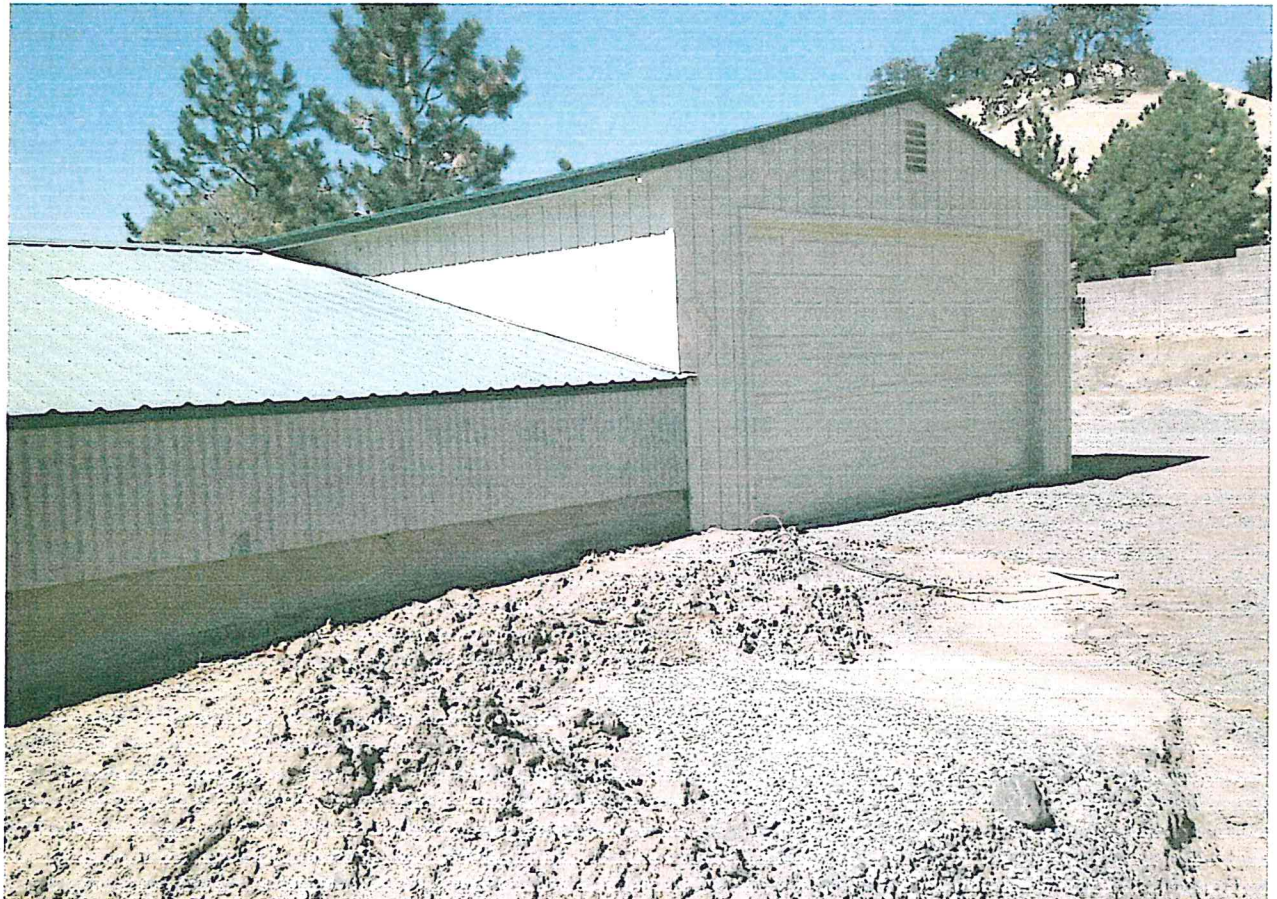
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DATE 4-22-15	SCALE AS NOTED	SHEET DESCRIPTION EXTERIOR ELEVATIONS	SECTION A1 OF A5
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STORAGE BUILDING PLANS
FOR: DAVE AND SHARON KING
402 VINE STREET
VACAVILLE, CA
APH 0124-010-150

JAMES GEORGE DESIGNS
30 LEMON HILL TRAIL
MILPITAS, CALIF. 95035
OFF: 707-416-1164
CELL: 707-446-9771
FAX: 707-416-0377



King storage Barn

FILE COPY

ATTACHMENT D

old
Barn
→

