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DEPARTMENT OF RESOURCE MANAGEMENT



**SOLANO
 COUNTY**

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www.solanocounty.com

Planning Services Division

SOLANO COUNTY ZONING ADMINISTRATOR

**Staff Report
 U-96-10-MR2 (ARINC, Inc.)**

Application No. U-96-10-MR2 (ARINC, Inc.) Project Planner: Karen Avery, Senior Planner		Meeting of June 2, 2016 Agenda Item No.	
Applicant ARINC, Inc. Attn: Robert Kirk 2712 Mattlyn Court Raleigh, NC 27613		Property Owner John and Judy Ahmann 1400 Buchli Station Road Napa, CA 94559	
Action Requested Minor Revision to Use Permit to remove six (6) 140' radio towers and replace them with six (6) new 135' radio towers. Install a new prefabricated equipment shelter (12' x 30') to house radio equipment and a 30kW emergency generator with a 1000 gallon propane tank to serve the generator. The building and tank will be surrounded by an 8' high chain link fence.			
Property Information			
Size: 663 acres		Location: 7514 Radio Station Road	
APN: 0142-070-010			
Zoning: Exclusive Agriculture 'A-80'		Land Use: Existing radio tower site/ grazing	
General Plan: Agriculture		Ag. Contract: #1298	
Utilities: Power on-site		Access: Radio Station Road	
Adjacent General Plan Designation, Zoning District, and Existing Land Use			
	General Plan	Zoning	Land Use
North	Agriculture	Exclusive Agriculture 'A-40'	Row Crops
South	Agriculture	Exclusive Agriculture 'A-80'	Grazing/ Row crops
East	Agriculture	Exclusive Agriculture 'A-80'	Row Crops
West	Agriculture	Exclusive Agriculture 'A-80'	Navy Radio Transmitter Site/ Dixon Housing Authority Farm Housing
Environmental Analysis The project is exempt from the California Environmental Quality Act under the Class 2 and Class 3 categorical exemptions pursuant to CEQA Guidelines Section 15302, replacement of existing facilities and Section 15303, new construction of small structures.			
Motion to Approve The Zoning Administrator does hereby ADOPT the attached resolution and APPROVE Minor Revision No. 2 of Use Permit No. U-96-10 based on the enumerated findings and subject to the recommended conditions of approval.			

SETTING

The project is located off Radio Station Road which is west of State Highway 113 and south of the City of Dixon. The subject property is 663 acres of flat land covered in grasses and is primarily used for grazing cattle. There are multiple radio towers on the property as the property has been used as a Voice of America Relay Station.

Surrounding parcels are smaller in size but are utilized for grazing and row crops. The parcel to west is owned by the United States Government and is used as Naval Radio Transmitting Facility. The Dixon Housing Authority operates a farm worker housing community on the property as well.

PROJECT DESCRIPTION

The applicant is requesting a minor revision to their existing use permit to remove six existing 140' radio towers and replace them with six 135' radio towers. As part of the revision, the applicant will install a new prefabricated equipment shelter (12' x 30') to house radio equipment and a 30kW emergency generator with a 1000 gallon propane tank to serve the generator. The building and tank will be surrounded by an 8' high chain link fence. The facility will be an unmanned facility requiring only occasional visits by personnel for installation, maintenance and repair to equipment as needed.

The request to replace the old towers with new radio towers is to provide backup radio communications to first responders and other entities during natural disasters and emergency situations. The network consists of radio sites across the United States that will allow communications outside impact zones during natural disasters or emergency situations.

ENVIRONMENTAL ANALYSIS

The project is exempt from the California Environmental Quality Act under the Class 2 and Class 3 categorical exemptions pursuant to CEQA Guidelines Section 15302, replacement of existing facilities and Section 15303, new construction of small structures.

PROJECT ANALYSIS

General Plan and Zoning

The property is designated Agriculture by the Solano County General Plan. As indicated on the General Plan land use consistency table (General Plan Table LU-7) the Exclusive Agriculture 'A-80' Zoning District is consistent with this designation. Pursuant to Section 28.81 of the County Zoning Regulations, wireless communication facilities are a conditionally permitted land use within this district.

Section 28.81(D) provides the general land use regulations for wireless facilities. The proposed revision is allowed within this zoning district, requires issuance of a revision of the use permit, and is required to obtain a building permit for construction of the project. The proposed replacement towers are lower in height than the existing towers. The shelter and propane tank will be located within the existing project area and will be screened by an 8' tall chain link fence.

Development Review Committee

As part of the project review process, the application was reviewed by various divisions within the Department of Resource Management:

Environmental Health Division

The Environmental Health Division responded that the applicant will need to contact the Hazardous Materials Section of the Environmental Health Division to verify whether or not a hazardous materials business plan is needed for the site. This requirement is listed as a condition of approval below.

Public Works Engineering Division

The Public Works Engineering Division reviewed the project and found the existing asphalt driveway and culvert in acceptable condition and had no further comments.

Building Division

The Building Division reviewed the project and commented that the applicant will need to apply for a building permit prior to start of construction. A condition of approval requiring a building permit is included below.

Outside Agency Review

No comments were received from any outside agencies.

Williamson Act Policies

Per the Solano County Uniform Rules and Procedures Governing Agricultural Preserves and Land Conservation Contracts, wireless communications facilities are a compatible use with properties under contract.

RECOMMENDATION

Staff recommends that the Zoning Administrator **ADOPT** the mandatory and suggested findings, and **APPROVE** Minor Revision No. 2 of Use Permit No. U-96-10, subject to the recommended conditions of approval.

REQUIRED USE PERMIT MANDATORY FINDINGS

- 1. That the establishment, maintenance or operation of the use or building is in conformity to the General Plan for the County with regard to traffic circulation, population densities and distribution, and other aspects of the General Plan considered by the Zoning Administrator to be pertinent.**

The replacement of radio antennas at an existing facility is consistent with the goals, objectives and policies of the Solano County Zoning Ordinance and Solano County General Plan. The projects, as proposed by the applicant, along with the recommended conditions of approval are consistent with the General Plan and Zoning Ordinance.

- 2. Adequate utilities, access roads, drainage and other necessary facilities have been or are being provided.**

The site has existing electrical power. No domestic water and/or private septic systems are required for the unmanned facility. The site is accessed Radio Station Road.

- 3. The subject use will not, under the circumstances of this particular case, constitute a nuisance or be detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in or passing through the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.**

The applicant has indicated that the proposed use will not constitute a nuisance of any kind. The project involves replacing existing radio towers with shorter radio towers and necessary ground equipment. The operation will not generate additional noise or create odors that would be detrimental or injurious to the general welfare of the County.

ADDITIONAL FINDINGS

4. The proposed facility complies with all applicable sub-sections of Wireless Communications Facilities, Zoning Regulations Section 28.81.
5. The minor revision is consistent with the provisions of the Solano County Uniform Rules and Procedures Governing Agricultural Preserves and Land Conservation Contracts.
6. The project is exempt from the California Environmental Quality Act under the Class 2 and Class 3 Categorical Exemptions pursuant to CEQA Guidelines Section 15302, replacement of existing facilities and Section 15303, new construction of small structures.

CONDITIONS OF APPROVAL

1. The permitted minor revision of the facility shall be established and operated in accord with the application materials and development plans for Minor Revision No. 2 to U-96-10, filed March 24, 2016 by ARINC Incorporated, and as approved by the Solano County Zoning Administrator.
2. All requirements of the Federal Aviation Administration (FAA) and the Federal Communications Commission (FCC) shall be met prior to the issuance of a building permit and during operation of the subject facility. Ground level radiation shall not exceed standards established by FCC.
3. The permittee shall take such measures as may be necessary or as may be required by the County to prevent offensive noise, lighting, dust or other impacts, which constitute a hazard or nuisance to surrounding properties.
4. No additional uses shall be established beyond those identified on the project plan without prior approval. No new or expanded buildings shall be constructed without prior approval of a minor revision to this use permit or approval of a new use permit.
5. The premises shall be maintained in a neat and orderly manner and kept free of accumulated debris or junk.
6. Failure to comply with any of the conditions of approval or limitation set forth in this permit shall be cause of the revocation of this permit.
7. Upon termination or expiration of the permit, all radio transmission towers shall be removed from the site. This includes foundations and supports for guy wires, towers, and transmission lines and other related equipment structures. All obsolete or unused facilities must be removed within 90 days of cessation of operation of the structure shall be removed and the area regraded to natural conditions.
8. Prior to any construction or improvements taking place, a Building Permit Application shall first be submitted as per the 2013 California Building Code, or the latest edition enforced at the time of building permit application. "Any owner or authorized agent who intends to construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or to erect, install, enlarge, alter, repair, remove, convert or replace any electrical, gas, mechanical or plumbing system, the installation of which is regulated by this code, or to cause any such work to be done, shall first make application to the building official and obtain the required permit."

9. The maximum potential volume of hazardous materials stored at the facility shall be calculated, and if required, the facility shall submit a hazardous materials business plan to Solano County Hazardous Material Section.
10. The permit for this facility is granted for a fixed term of ten (10) years and shall expire on June 2, 2026. Upon expiration, issuance of a new land use permit is required should the facility continue to operate at this location.

Attachments:

- Exhibit A - Draft Resolution
- Exhibit B – Assessor’s Parcel Map
- Exhibit C – Development Plans

SOLANO COUNTY ZONING ADMINISTRATOR RESOLUTION NO. XX

WHEREAS, the Solano County Zoning Administrator has considered Minor Revision No. 2 to Use Permit No. U-96-10 of **ARINC, Inc.** for the removal of six 140' radio towers and installation of six new 135' radio towers, and the addition of a 12' x 30' equipment shelter for radio equipment, 30 kw propane emergency generator, and 1000 gallon propane tank. The project is located at 7514 Radio Station Road, Dixon, in an "A-80" Exclusive Agricultural Zoning District, APN: 0143-070-010, and;

WHEREAS, said Zoning Administrator has reviewed the report of the Department of Resource Management and heard testimony relative to the subject application at the duly noticed public hearing held on June 2, 2016, and;

WHEREAS, after due consideration, the Zoning Administrator has made the following findings in regard to said proposal:

1. **That the establishment, maintenance or operation of the use or building is in conformity to the General Plan for the County with regard to traffic circulation, population densities and distribution, and other aspects of the General Plan considered by the Zoning Administrator to be pertinent.**

The replacement of radio antennas at an existing facility is consistent with the goals, objectives and policies of the Solano County Zoning Ordinance and Solano County General Plan. The projects, as proposed by the applicant, along with the recommended conditions of approval are consistent with the General Plan and Zoning Ordinance.

2. **Adequate utilities, access roads, drainage and other necessary facilities have been or are being provided.**

The site has existing electrical power. No domestic water and/or private septic systems are required for the unmanned facility. The site is accessed Radio Station Road.

3. **The subject use will not, under the circumstances of this particular case, constitute a nuisance or be detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in or passing through the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.**

The applicant has indicated that the proposed use will not constitute a nuisance of any kind. The project involves replacing existing radio towers with shorter radio towers and necessary ground equipment. The operation will not generate additional noise or create odors that would be detrimental or injurious to the general welfare of the County.

4. The proposed facility complies with all applicable sub-sections of Wireless Communications Facilities, Zoning Regulations Section 28.81.
5. The minor revision is consistent with the provisions of the Solano County Uniform Rules and Procedures Governing Agricultural Preserves and Land Conservation Contracts.
6. The project is exempt from the California Environmental Quality Act under the Class 2 and Class 3 Categorical Exemptions pursuant to CEQA Guidelines Section 15302, replacement of existing facilities and Section 15303, new construction of small structures.

BE IT THEREFORE RESOLVED that the Zoning Administrator has approved the minor revision to Use Permit No. U-96-10 subject to the following recommended conditions of approval:

1. The permitted minor revision of the facility shall be established and operated in accord with the application materials and development plans for Minor Revision No. 2 to U-96-10, filed March 24, 2016 by ARINC Incorporated, and as approved by the Solano County Zoning Administrator.
2. All requirements of the Federal Aviation Administration (FAA) and the Federal Communications Commission (FCC) shall be met prior to the issuance of a building permit and during operation of the subject facility. Ground level radiation shall not exceed standards established by FCC.
3. The permittee shall take such measures as may be necessary or as may be required by the County to prevent offensive noise, lighting, dust or other impacts, which constitute a hazard or nuisance to surrounding properties.
4. No additional uses shall be established beyond those identified on the project plan without prior approval. No new or expanded buildings shall be constructed without prior approval of a minor revision to this use permit or approval of a new use permit.
5. The premises shall be maintained in a neat and orderly manner and kept free of accumulated debris or junk.
6. Failure to comply with any of the conditions of approval or limitation set forth in this permit shall be cause of the revocation of this permit.
7. Upon termination or expiration of the permit, all radio transmission towers shall be removed from the site. This includes foundations and supports for guy wires, towers, and transmission lines and other related equipment structures. All obsolete or unused facilities must be removed within 90 days of cessation of operation of the structure shall be removed and the area regraded to natural conditions.
8. Prior to any construction or improvements taking place, a Building Permit Application shall first be submitted as per the 2013 California Building Code, or the latest edition enforced at the time of building permit application. "Any owner or authorized agent who intends to construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or to erect, install, enlarge, alter, repair, remove, convert or replace any electrical,

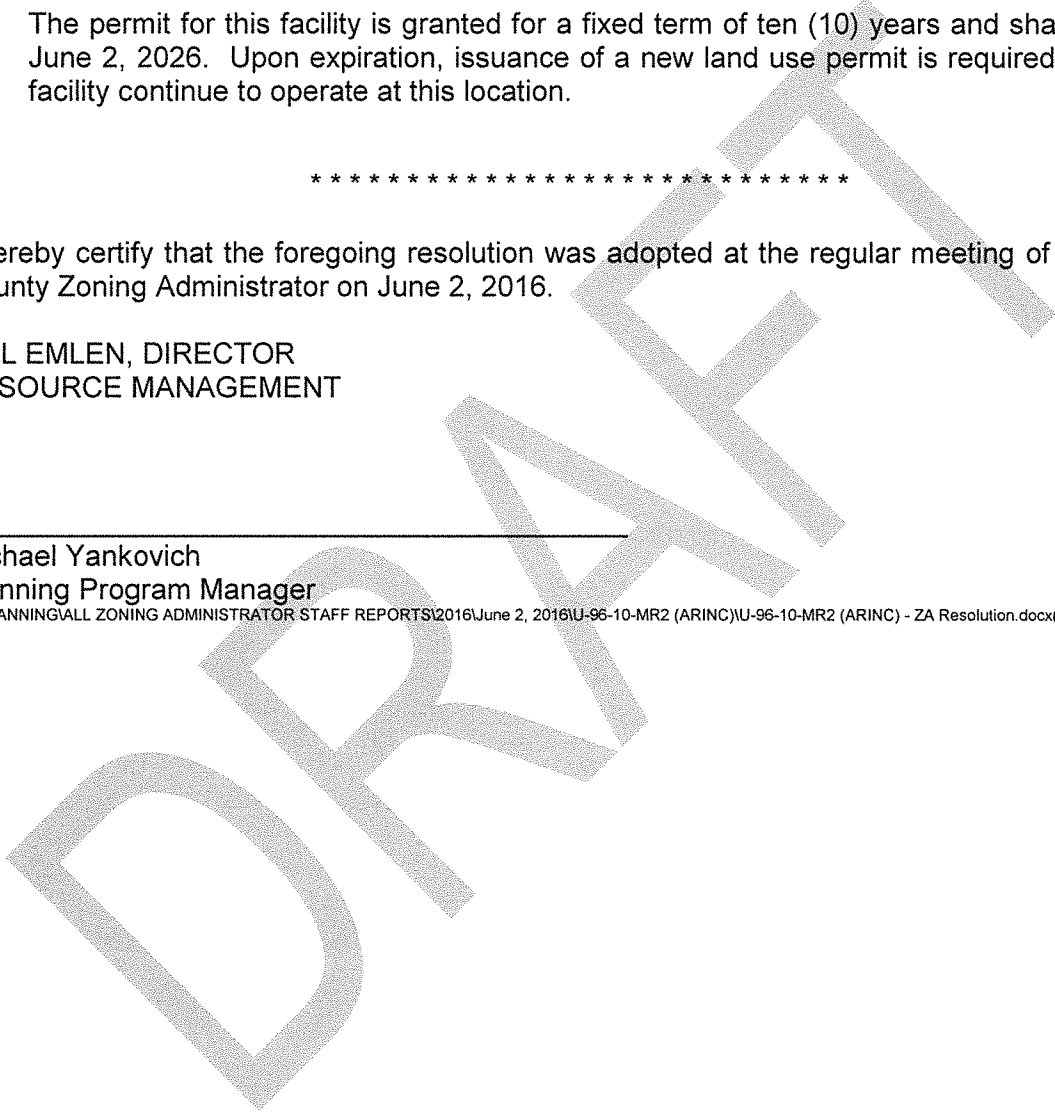
gas, mechanical or plumbing system, the installation of which is regulated by this code, or to cause any such work to be done, shall first make application to the building official and obtain the required permit.”

9. The maximum potential volume of hazardous materials stored at the facility shall be calculated, and if required, the facility shall submit a hazardous materials business plan to Solano County Hazardous Material Section.
10. The permit for this facility is granted for a fixed term of ten (10) years and shall expire on June 2, 2026. Upon expiration, issuance of a new land use permit is required should the facility continue to operate at this location.

I hereby certify that the foregoing resolution was adopted at the regular meeting of the Solano County Zoning Administrator on June 2, 2016.

BILL EMLLEN, DIRECTOR
RESOURCE MANAGEMENT

Michael Yankovich
Planning Program Manager

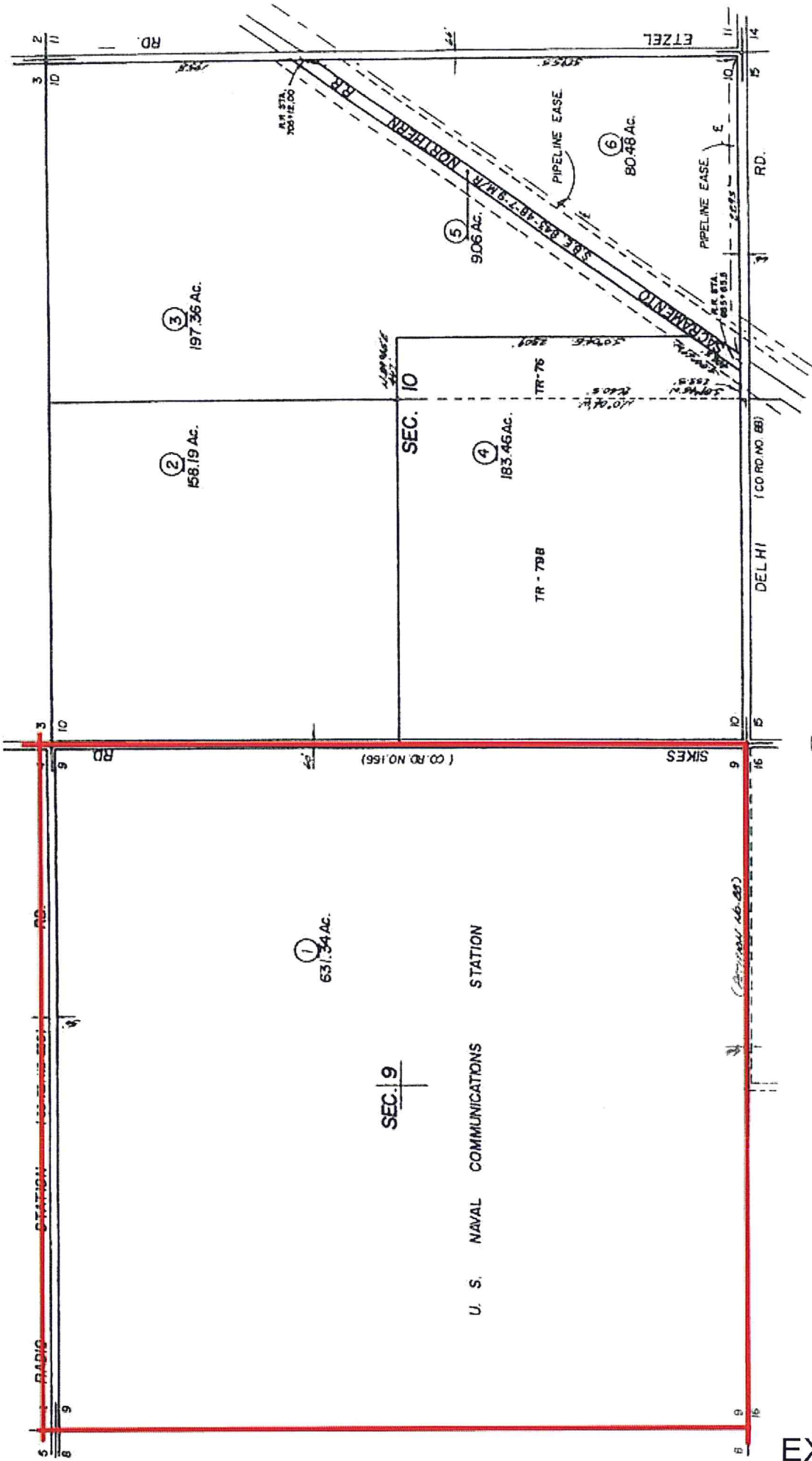


SEC'S 9 & 10, T.6N., R.2E., M.D.B. & M.

Tax Area Code
63002

14.

03



5

11

Assessor's Map Bk. 14:
County of Solano,

11-12

NOTE: This map is for assessment purposes only. It is not intended to define legal boundary rights or imply compliance with land division laws.

REVISION	DATE	BY
S.B.E.-P.U. Delete No. 2-22-11	2-22-11	JS
S.B.E.-CHG.	7-13-93	SS
S.B.E.-P.U.	5-22-50	df

Parcel Numbers Shown in Ellipses, Assessor's Parcel Numbers Shown in Circles

EXHIBIT B

ARINC

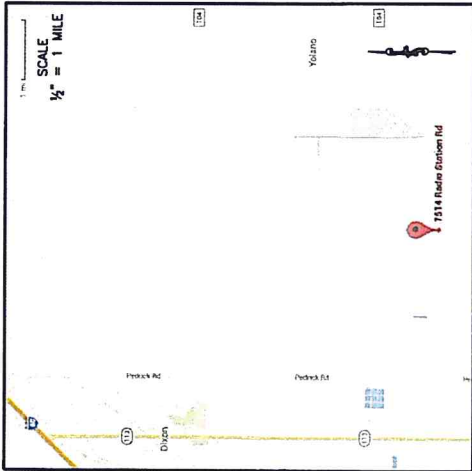
ARINC INCORPORATED
2551 RIVA ROAD
ANNAPOLIS, MD 21401
CONTACT: BOB KIRK
PHONE: (919) 624-1212

DIXON

7514 RADIO STATION ROAD
DIXON, CA 95620
LAT: 38° 23' 04.81"N
LONG: 121° 45' 34.42"W

SIX (6) PROPOSED 133-0" TALL ANTENNA MASTS;
TO REPLACE SIX (6) EXISTING TOWERS
(TO BE REMOVED)

- T-1 COVER SHEET
- T-2 GENERAL REQUIREMENTS
- C-1 SITE OVERVIEW
- C-2 EXISTING AND PROPOSED SITE PLANS
- C-3 SITE TOPOGRAPHY
- C-4 SITE AERIAL VIEW
- C-5 PROPOSED CONDUIT ROUTING
- C-6 PROPOSED EQUIPMENT PLAN
- C-7 TYPICAL ANTENNA PLAN
- C-8 TYPICAL ANTENNA ELEVATION
- D-1 EQUIPMENT SHELTER ELEVATIONS



PARCEL INFORMATION:
JURISDICTION: COUNTY OF SOLANO, CA
PARCEL ID (APN): 01-10770010
LAND USE CODE: #6400
PROPERTY TYPE: RANGE AND WATERSHED
PARCEL ZONE #1: A80

ENGINEER:
KCI TECHNOLOGIES, INC.
4801 SIX FORKS RD., SUITE 220
FARMINGTON, CA 95740
(919) 781-9211
ERIC S. KOHL, CA LICENSE #85311

NOTES:
CONTRACTOR SHALL NOTIFY OWNER FOR ACCESS TO SITE.
KEEP GATES AND/OR DOORS LOCKED AT ALL TIMES.
CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING
DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL
IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY
DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR
BE RESPONSIBLE FOR SAME.

SITE CONTACT:
PROJECT MANAGER:
BOB KIRK
2551 RIVA RD.
ANNAPOLIS, MD 21401
PHONE: (919) 624-1212

UTILITY CONTACTS:
ELECTRIC:
PACIFIC GAS AND ELECTRIC CO.
1-800-743-5000
CALL BEFORE YOU DIG - DIG ALERT
LATENT DRAINAGE CENTER - NOTIFY THE APPROVED
UTILITY CENTER AT LEAST TWO (2) WORKING
DAYS PRIOR. DIG ALERT: 811

PROPERTY OWNER:
JOHN E. & JUDY ANN AHMANN
1400 BUCHLI STATION RD.
NAPA, CA 95620



306

COVER SHEET

T-1



DIXON
7514 RADIO STATION ROAD
DIXON, CA 95620
COUNTY OF SOLANO, CALIFORNIA
DATE OF ORIGINATION : 06/21/2015
DRAWN BY : TNW APPROVED BY :
CHECKED BY : KCI# : 0215-7541-F



ARINC INCORPORATED
2551 RIVA ROAD
ANNAPOLIS, MD 21401
CONTACT: BOB KIRK
PHONE: (919) 624-1212



KCI TECHNOLOGIES
SUITE 220, LINDAIRE CENTER II,
RALEIGH, NORTH CAROLINA 27609
(919) 781-9211
ENGINEERS • PLANNERS • ECOLOGISTS

DATE	REVISION
07/31/2015	ISSUE SITE PLAN SUBMISSION
08/06/2015	ISSUE SITE PLAN SUBMISSION
01/29/2016	ISSUE SITE PLAN SUBMISSION

CONSTRUCTION NOTES:

ALL PROPOSED ANTENNA MAST AND ANTENNA MAST BASE FOUNDATIONS SHALL BE PLACED WITHIN TEN (10) FEET OF EXISTING FOUNDATIONS OF EXISTING TOWER TO BE REMOVED. EXISTING TOWER FOUNDATIONS SHALL BE ABANDONED IN PLACE. PROPOSED ANTENNA MASTS AND ANCHORS SHALL BE PLACED SO THAT CONFLICTS WITH EXISTING TOWERS AND GUYS SHALL NOT OCCUR.

PROPOSED ANTENNAS AND ANTENNA ANCHORS SHALL BE PLACED SO THAT CONFLICTS WITH EXISTING OR PROPOSED TOWERS, GUYS, AND ANTENNAS SHALL NOT OCCUR.

EACH PROPOSED ANTENNA MAST SHOWN IN THIS PLAN SET IS LOCATED TEN (10) FEET DUE EAST OF AN EXISTING TOWER TO BE REMOVED. FINAL LOCATION OF EACH PROPOSED ANTENNA MAST AND ANTENNA ANCHORS MAY BE ADJUSTED AT NO CONFLICTS DESCRIBED ABOVE OCCUR, BUT ALL PROPOSED ANTENNA MASTS SHALL BE PLACED WITHIN TEN (10) FEET OF AN EXISTING TOWER TO BE REMOVED. IF THIS PLACEMENT IS NOT POSSIBLE, ENGINEER-OF-RECORD SHALL BE CONTACTED IMMEDIATELY.

EACH PROPOSED ANTENNA MAST SHOWN IN THIS PLAN SET IS SHORTER IN HEIGHT THAN THE EXISTING GUY TOWER THAT IT WILL REPLACE.

CONTRACTOR NOTES

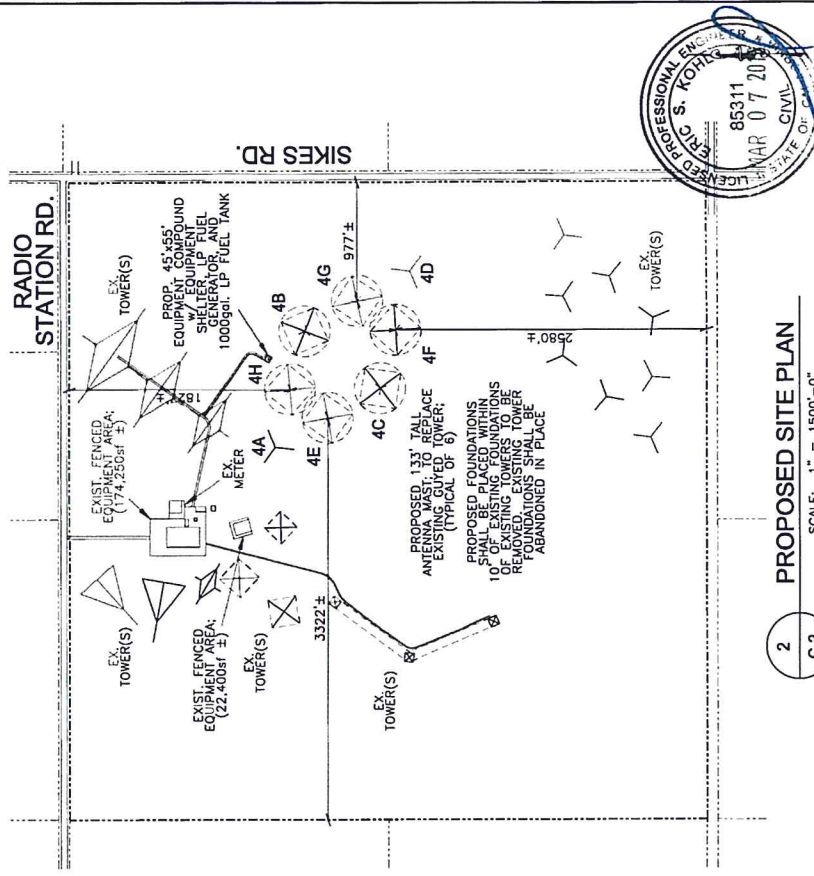
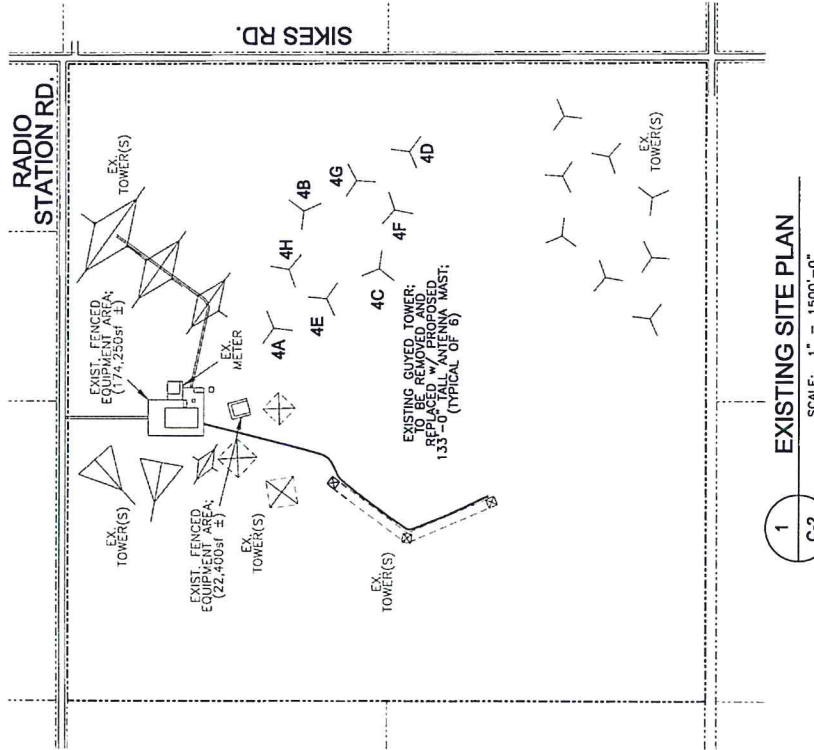
ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL STATE AND LOCAL CODES AND ORDINANCES, THE LATEST EDITION THEREOF.

CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR THIS PROJECT FROM ALL APPLICABLE GOVERNMENT AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ABIDING BY ALL CONDITIONS AND REQUIREMENTS OF THE PERMITS.

THESE PLANS ARE NOT FOR RECONSTRUCTION OR CONVEYANCE.

DAMAGE TO UTILITIES OR PROPERTY OF OTHERS BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE REPAIRED TO LIKE-NEW CONDITION.

NOTIFY "DIG ALERT" AT 811 AT LEAST 48 HOURS PRIOR TO DOING ANY EXCAVATION IN THIS AREA.



NO.	DATE	REVISION
80X	07/31/2015	80X SITE PLAN SUBMISSION
95X	06/04/2015	95X SITE PLAN SUBMISSION
100X	01/29/2016	100X SITE PLAN SUBMISSION

KCI
TECHNOLOGIES
SUITE 220 LANDMARK CENTER II,
RALEIGH, NORTH CAROLINA 27609
ENGINEERS - PLANNERS - ECOLOGISTS

ARINC
ARINC INCORPORATED
5551 IRVA ROAD
ANNAPOLIS, MD 21401
CONTACT: BOB KIRK
PHONE: (813) 824-1212

DIXON
7514 RADIO STATION ROAD
DIXON, CA 95620
COUNTY OF SOLANO, CALIFORNIA

DATE OF ORIGINATION : 06/21/2015
DRAWN BY : TNW APPROVED BY :
CHECKED BY : KC# : 0215-7541-F

COUNTY OF SOLANO, CA
DEPT. OF RESOURCE MANAGEMENT
PLANNING SERVICES DIVISION
675 TEXAS STREET
FAIRFIELD, CALIFORNIA 94533
PH: 707-784-8765
WWW.SOLANOCOUNTY.COM/

EXISTING AND
PROPOSED
SITE PLAN
C-2

DIXON STORM WATER NARRATIVE

THE DIXON SITE CONSISTS OF A 45-FT x 85-FOOT GRAVEL COMPOUND WITH A 15-FT WIDE GRAVEL ACCESS DRIVE AND A SMALL PARKING AND TURNAROUND AREA IN FRONT OF THE COMPOUND. THE COMPOUND WILL BE FENCED IN AND CONTAIN AN EQUIPMENT SHELTER WITH ENCLOSED GENERATOR AND A PROPANE TANK.

THE SITE ITSELF IS EXTREMELY LEVEL WITH VERY MINIMAL GRADING REQUIRED. THE GRADING WILL MOSTLY CONSIST OF REMOVING THE TOP 3 INCHES OF TOPSOIL, SPREADING IT AROUND THE SURROUNDING AREA AND THEN RESEEDING THE DISTURBED AREA OUTSIDE OF THE FENCE.

THE SOILS WITHIN THE DRAINAGE AREA (ROUGHLY 27 ACRES) CONSIST OF 4 TYPES: ANTOCH-SAN YSIDRO COMPLEX (A SILTY, SANDY CLAY), 4.2% OF AREA WITH 0 TO 2% SLOPES; CAPAY SILTY CLAY LOAM, 0.5% OF AREA WITH 0 TO 2% SLOPES; CAPAY SILTY CLAY, 4.2% OF AREA WITH 0 TO 2% SLOPES; AND ANTOCH-SAN YSIDRO COMPLEX (A SILTY SANDY CLAY), 4.2% OF AREA WITH 0 TO 2% SLOPES. THE PREDOMINANT SOIL IS CLASS C, SO WE CAN EXPECT A FAIR AMOUNT OF INFILTRATION TO ASSIST WITH ANY RUN OFF.

THE SITE IS LOCATED WITHIN THE SACRAMENTO RIVER DRAINAGE BASIN AND THE PROPERTY DRAINS MORE OR LESS FROM NORTHWEST TO SOUTHWEST. THE DRAINAGE BASIN AND THE PROPERTY DRAINAGE SWALE AND TO THE SOUTH BY A DRAINAGE SWALE. THE EASTERN DRAINAGE SWALE EVENTUALLY MERGES WITH THE SOUTHERN DRAINAGE SWALE WHICH EMPTIES INTO THE LARGE DRAINAGE CONVEYANCE CHANNEL AT THE EDGE OF SIKES ROAD. PLEASE REFER TO MAP FOR MORE SPECIFIC DETAILS ON THE DRAINAGE AREA.

THE EROSION AND SEDIMENT CONTROL WILL PRIMARILY CONSIST OF SILT FENCE AROUND THE DISTURBED AREA, A SMALL STOCK PILE OF TOPSOIL TO BE UTILIZED IN THE FENCE, LANDSCAPING OF GRASS, AND A CONSTRUCTION ENTRANCE/EXIT TO ALLOW FOR CONSTRUCTION VEHICLES TO KNOCK OFF THE DIRT OFF THE TIRES PRIOR TO ACCESSING A PAVED ROAD.

WITHIN THE DRAINAGE AREA, THERE IS 27.66 ACRES OVERALL OF THAT THERE IS 0.36 ACRES OF IMPERVIOUS AREA. THE NEW DRAINAGE AREA IS A TOTAL OF 0.36 ACRES OF IMPERVIOUS AREA. THE DRAINAGE AREA WILL BE IMPERVIOUS. THE CHANGE IN EXPECTED RUNOFF FROM THE NEW ADDITION IS EXTREMELY SMALL. WITH MUCH OF IT STILL HANDLED BY INFILTRATION AND THE REST EASILY MANAGED WITHIN THE EXISTING DRAINAGE SWALES AND THE LARGE CONVEYANCE CHANNEL ON THE ROAD.

RADIO STATION ROAD

SIKES ROAD

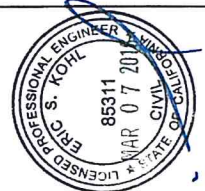
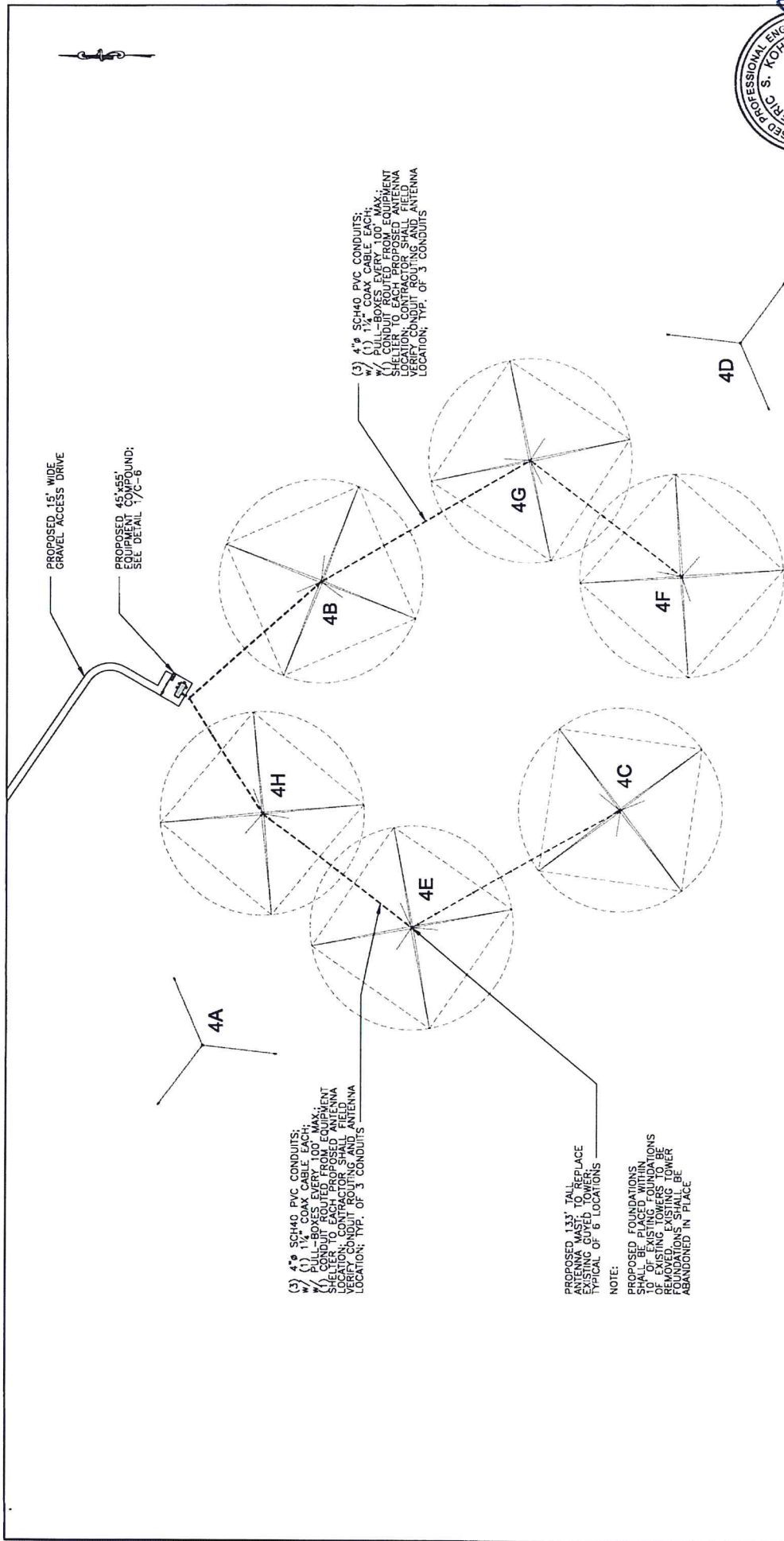


1 SITE DRAINAGE AREA
C-4
SCALE: 1" = 800'-0"



NO.	DATE	REVISION
001	07/31/2015	001 SITE PLAN SUBMISSION
002	08/06/2015	002 SITE PLAN SUBMISSION
1000	01/29/2016	1000 SITE PLAN SUBMISSION

<p>KCI TECHNOLOGIES SUITE 220, LANEMARK CENTER II, RALDICH, NORTH CAROLINA 27109 ENGINEERS • PLANNERS • ECOLOGISTS</p>		<p>ARINC ARINC INCORPORATED 2551 BRVA ROAD ANNAPOLIS, MD 21401 CONTACT: BOB KIRK PHONE: (410) 824-1212</p>	<p>DIXON 7514 RADIO STATION ROAD DIXON, CA 95620 COUNTY OF SOLANO, CALIFORNIA</p>	<p>COUNTY OF SOLANO, CA DEPT. OF RESOURCE MANAGEMENT PLANNING SERVICES DIVISION 675 TEXAS STREET FAIRFIELD, CALIFORNIA 94533 PH: 707-784-8765 WWW.SOLANOCOUNTY.COM</p>	<p>SITE DRAINAGE AREA AND NOTES C-4</p>
<p>DATE OF ORIGINATION : 05/21/2015</p>		<p>DRAWN BY : TNW APPROVED BY : CHECKED BY : KCI : 0215-7541-F</p>			



1 PROPOSED CONDUIT ROUTING
 C-5
 SCALE: 1" = 200'-0"

NO.	DATE	REVISION
80X	07/31/2015	80X SITE PLAN SUBMISSION
85X	08/06/2015	85X SITE PLAN SUBMISSION
100X	01/29/2016	100X SITE PLAN SUBMISSION

<p>KCI TECHNOLOGIES</p> <p>SUITE 220, LANDMARK CENTER II, RALEIGH, NORTH CAROLINA 27609 PHONE: (919) 783-8214 ENGINEERS • ARCHITECTS • GEOLOGISTS</p>	<p>ARINC</p> <p>ARINC INCORPORATED 2551 IRVA ROAD ANNAPOLIS, MD 21401 CONTACT: BOB KIRK PHONE: (919) 824-7172</p>	<p>DIXON 7514 RADIO STATION ROAD DIXON, CA 95620 COUNTY OF SOLANO, CALIFORNIA</p> <p>DATE OF ORIGINATION : 06/21/2015 DRAWN BY : TNW CHECKED BY : KCH : 0215-7541-F</p>	<p>COUNTY OF SOLANO, CA DEPT. OF RESOURCE MANAGEMENT PLANNING SERVICES DIVISION 875 TEXAS STREET FAIRFIELD, CALIFORNIA 94533 PH: 707-764-6785 WWW.SOLANOCOUNTY.COM/</p>	<p>PROPOSED CONDUIT ROUTING C-5</p>
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CONSTRUCTION NOTES:

PROPOSED ANTENNA MAST ANCHOR AND ANTENNA MAST BASE FOUNDATIONS OF EXISTING TOWER TO BE REMOVED. EXISTING TOWER FOUNDATIONS SHALL BE ABANDONED IN PLACE.

PROPOSED ANTENNA MASTS AND ANCHORS SHALL BE PLACED SO THAT CONFLICTS WITH EXISTING TOWERS AND GUYS SHALL NOT OCCUR.

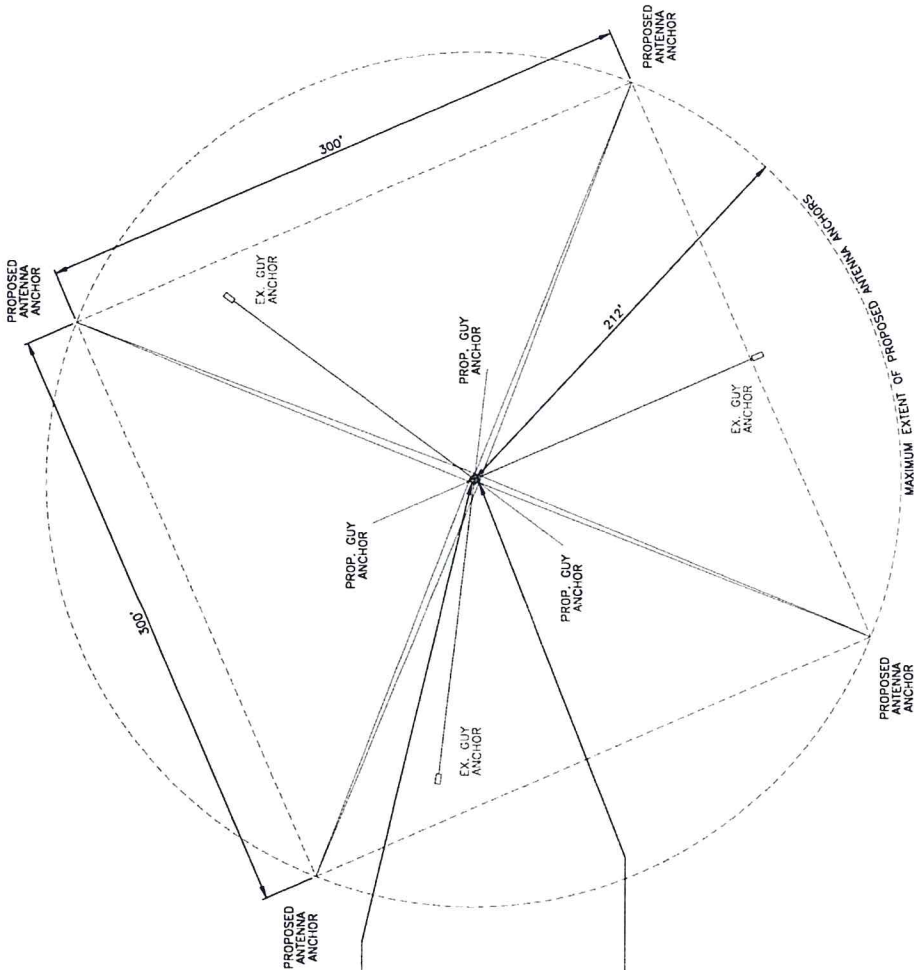
PROPOSED ANTENNAS AND ANTENNA ANCHORS SHALL BE PLACED SO THAT CONFLICTS WITH EXISTING OR PROPOSED TOWERS, GUYS, AND ANTENNAS SHALL NOT OCCUR.

EACH PROPOSED ANTENNA MAST SHOWN IN THIS PLAN—SET IS LOCATED TEN (10) FEET DUE EAST OF AN EXISTING TOWER TO BE REMOVED. ANCHORS MAY BE ADJUSTED SOUTH AND WEST AS NECESSARY TO AVOID ABOVE OCCUR, BUT ALL PROPOSED ANTENNA MASTS SHALL BE PLACED WITHIN TEN (10) FEET OF AN EXISTING TOWER TO BE REMOVED. IF THIS IS NOT POSSIBLE, ENGINEER-OF-RECORD SHALL BE CONTACTED IMMEDIATELY.

EACH PROPOSED ANTENNA MAST SHOWN IN THIS PLAN—SET IS SHORTER IN HEIGHT THAN THE EXISTING GUY TOWER THAT IT WILL REPLACE.

EXISTING GUYED TOWER W/ ANTENNA TO BE REMOVED; (TYP. OF 6)

PROPOSED 133' TALL ANTENNA MAST TO BE REMOVED; (TYP. OF 6)



TYPICAL ANTENNA PLAN
SCALE: 1" = 60'-0"



NO.	DATE	REVISION
80%	07/31/2015	80% SITE PLAN SUBMISSION
95%	06/05/2015	95% SITE PLAN SUBMISSION
100%	01/29/2016	100% SITE PLAN SUBMISSION

KCI TECHNOLOGIES
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RALEIGH, NORTH CAROLINA, 27609
ENGINEERS (S) AND SURVEYORS (S)
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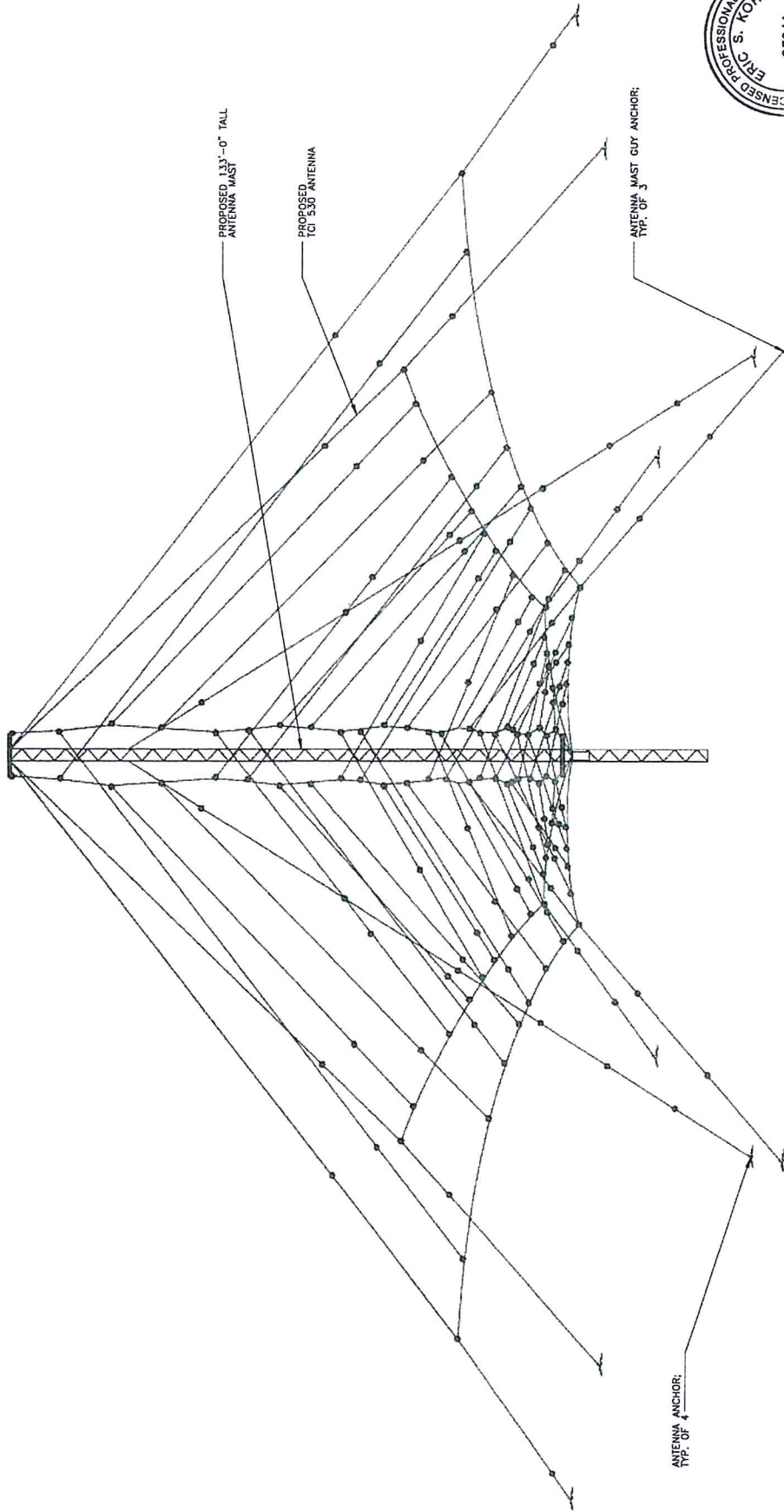
ARINC
ARINC INCORPORATED
2551 RIVA ROAD
ANNAPOLIS, MD 21401
CONTACT: BOB KIRK
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DIXON
7514 RADIO STATION ROAD
DIXON, CA 95620
COUNTY OF SOLANO, CALIFORNIA
DATE OF ORIGINATION : 06/21/2015
DRAWN BY : TNW APPROVED BY :
CHECKED BY : KCI# : 0215-7541-F

COUNTY OF SOLANO, CA
DEPT. OF RESOURCE MANAGEMENT
PLANNING SERVICES DIVISION
875 TEXAS STREET
FAIRFIELD, CALIFORNIA 94533
PH: 707-794-8765
WWW.SOLANOCOUNTY.COM

TYPICAL ANTENNA PLAN
C-7

SAC:



1 ANTENNA ELEVATION
NOT TO SCALE

NO.	DATE	REVISION
50%	07/31/2015	50% SITE PLAN SUBMISSION
55%	08/08/2015	55% SITE PLAN SUBMISSION
100%	07/29/2016	100% SITE PLAN SUBMISSION

KCI
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DIXON
7514 RADIO STATION ROAD
DIXON, CA 95620
COUNTY OF SOLANO, CALIFORNIA

DATE OF ORIGINATION : 06/21/2015
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COUNTY OF SOLANO, CA
DEPT. OF RESOURCE MANAGEMENT
PLANNING SERVICES DIVISION
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SCALE:
TYPICAL ANTENNA ELEVATION
C-8

