

..title

ALUC-20-04 Lister Commercial Building

Conduct a public hearing to consider a consistency determination (ALUC-20-04) for the proposed Lister Commercial Building project, with the Travis Air Force Base Land Use Compatibility Plan and the Nut Tree Airport Land Use Compatibility Plan. (Applicant - City of Vacaville)

..body

Published Notice Required? Yes No
Public Hearing Required? Yes No

RECOMMENDATION:

Staff is recommending that the Commission:

1. Conduct the Public Hearing, and
2. Determine that ALUC-20-04, the proposed Lister Commercial Building project **is consistent** with the Nut Tree Land Use Compatibility Plan (Nut Tree Plan), and that the project **is consistent** with the Travis Air Force Base Land Use Compatibility Plan (Travis Plan).

INTRODUCTION

The City of Vacaville is in the process of reviewing a proposal for a commercial building (See Attachments A-H2) located on East Monte Vista Drive across from Aviator Drive. The project proposal is to construct a 20,500 square foot, one-story building on a vacant 3.66-acre site located at the southeast corner of Est Monte Vista Avenue and Aviator Drive. The building is 36 feet tall or 139 feet above mean sea level.

The Vacaville Municipal code provides that when there is a question of compatibility with an airport land use plan, the City may refer the application to the Commission for a consistency determination, as they have done in this case.

CONSISTENCY DETERMINATION

PROJECT DESCRIPTION

The Lister Commercial Building project includes 20,500 square feet of warehouse and retail sales uses on 3.66 acres, as described below from the application:

The project/property in question is located on E. Monte Vista Ave near Aviator Drive. The property is contiguous to the Storage Facility to the north. The site is relatively flat with a light slope from the SW to the NE corner. A drainage canal parallels the I-505 frontage.

The site is approximately 3.66 acres and is triangular in shape and fronts on E. Monte Vista Ave. The proposed building is 20,500 GSF and will have one major tenant, Ambrose Solar (15,125 SF) and the balance will be Lister Construction (5,420 SF). Ambrose Solar has a retail/sales aspect; some space in the plans is designated for display for the solar panels/systems that they sale/install. Lister Construction will have an equipment rental aspect to their business related to the construction industry.

- Ambrose Solar spaces include: Lobby, Offices, Conference space, Break room and Warehouse.
 1. Use: Offices, Product Display and warehouse for the contracting operations and storage.
 2. Number of Employees, total: 40 +/-
 3. Hours of Operation: 7am-6pm, M-F
 4. Storage: Warehouse space and Company Vehicles
- Lister Construction spaces include: 1,190 SF of offices and the balance as warehouse.
 1. Use: Construction Company: Office, Warehouse and Equip Rental
 2. Number of Employees: 5
 3. Hours of Operation: 7am -4pm, M-F
 4. Storage: Warehouse space, Company Vehicles and Equipment Rental

REQUIRED REVIEW FOR CONSISTENCY BY THE ALUC

State law, under Section 21661.5 of the Public Utilities Code, requires that any proposed zoning regulations or revisions to the local zoning ordinance be reviewed for consistency with adopted airport land use compatibility plans. The project is subject to two land use compatibility plans – the Nut Tree Plan’s Compatibility Zone B and the Travis Plan’s Compatibility Zone D. The provisions of each are discussed below.

Nut Tree Plan Compatibility Zone B Criteria

The subject property lies within the Area of Influence of the Nut Tree Plan, more particularly within Compatibility Zone B. Compatibility Zone B is an Inner Approach/Departure Zone of substantial risk characterized by common traffic pattern overflight below 300 feet AGL and high noise intrusion. (Attachment E Nut Tree Plan Context Map). The applicable criteria for compatibility in Zone B are listed below.

Maximum Densities/Intensities:

Residential: 0.3 units per acre maximum

Commercial/Industrial: 20 persons per acre indoors, 40 persons per acre indoors and outdoors.

Required Open Space: 50% in Zone B

Normally Acceptable Uses (Partial List):

All Uses from Zone A:

- Pastures, open spaces
- Parks with very low intensity uses
- Aircraft tie-downs

- Auto parking
- Nurseries
- Outdoor storage

Parks with low intensity uses

Warehouses

Light Industrial Uses (one story maximum)

Heavy Industrial Uses

Travis Plan Compatibility Zone D Criteria

The subject property lies within the Area of Influence of the Travis plan, more particularly within Compatibility Zone D (Attachment D Travis Plan Context Map). Zone D is an outer environs zone with limited risk. The criteria for compatibility in Zone D are listed below.

Maximum Densities/Intensities: No Limits

Prohibited Uses: None

Other Development Conditions:

- ALUC review required for objects > 200 feet AGL
- All proposed wind turbines must meet line-of-sight criteria in Policy 5.6.1
- All new or expanded commercial-scale solar facilities must conduct an SGHAT glint and glare study for ALUC review
- All new or expanded meteorological towers > 200 feet
- AGL, whether temporary or permanent, require ALUC review
- For areas within the Bird Strike Hazard Zone, reviewing agencies shall prepare a WHA for discretionary projects that have the potential to attract wildlife that could cause bird strikes. Based on the findings of the WHA, all reasonably feasible mitigation measures must be incorporated into the planned land use.
- For areas outside of the Bird Strike Hazard Zone but within the Outer Perimeter, any new or expanded land use involving discretionary review that has the potential to attract the movement of wildlife that could cause bird strikes are required to prepare a WHA.

BASIS FOR EVALUATION

This consistency determination is a referral from the City of Vacaville under the provision for major land use decisions to be referred to the Commission for an advisory opinion. Staff has analyzed the project using the standards for the review of a zoning action. The Commission's determination is advisory only to the City of Vacaville.

REQUIRED TESTS FOR CONSISTENCY FOR REZONING ACTIONS

State law, under Section 21661.5 of the Public Utilities Code, requires that any proposed zoning regulations or revisions to the local zoning ordinance be reviewed for consistency with adopted airport land use compatibility plans. The CalTRANS Division of Aeronautics provides guidance on

factors to be reviewed in a consistency determination through its published handbook which is discussed below.

California Airport Land Use Planning Handbook (2011)

The State Department of Aeronautics has published the California Airport Land Use Planning Handbook (2011) as a guide for Airport Land Use Commissions in the preparation and implementation of Land Use Compatibility Plans and Procedure Documents. Section 6.4.2 (p. 6-14) sets forth procedures for the review of local zoning ordinances and directs agencies to consider the topics listed in Table 5A, as follows:

Zoning or Other Policy Documents (from Table 5A, CalTRANS Airport Land Use Planning Handbook)

The Handbook lists the following topics for consideration when reviewing zoning or other policy documents.

- *Intensity Limitations on Nonresidential Uses*
- *Identification of Prohibited Uses*
- *Open Land Requirements*
- *Infill Development*
- *Height Limitations and Other Hazards to Flight*
- *Buyer Awareness Measures*
- *Non-conforming Uses and Reconstruction*

These topics are analyzed below.

ANALYSIS

Zoning Change Consistency Factors

Intensity Limitations on Nonresidential Uses

Nut Tree Plan:

Within Compatibility Zone B, the Nut Tree Plan has a limitation of 20 persons per acre for indoor uses and 40 persons per acre for indoor and outdoor uses combined.

The proposal before the ALUC is for a single-story building with warehouse uses, office uses, and retail sales uses. The application states that 45 persons will be employed on site. The 3.66-acre site could have up to 73 persons on site under the Nut Tree Plan. As a result, the project is consistent with this compatibility criteria.

Travis Plan:

There are no land use limitations on non-residential uses within compatibility zone D and thus the proposed commercial development project is consistent with this aspect of the Travis Plan.

Identification of Prohibited Uses

Nut Tree Plan:

The Nut Tree Plan prohibits noise sensitive outdoor uses within Compatibility Zone B. In addition, the plan lists the following normally not acceptable land use categories:

- Schools, libraries, hospitals and nursing homes
- Residential densities above 4 units per acre
- Large shopping centers

Travis Plan:

The Travis Plan prohibits “Other Hazards to Flight” which typically consist of sources of smoke or glare, attraction of birds, flashing lights and sources of electronic interference. None of these hazards are present in the proposed development

The proposed commercial development does not include any of the prohibited uses in either the Nut Tree or Travis Plans.

Open Land Requirements

Nut Tree Plan:

The Nut Tree Plan contains “Notes to the Compatibility Table” which require 50% open land in Compatibility Zone B. The notes also require an open area(s) which can accommodate emergency landing operations with specified minimum sizes such as 100 x 300 feet or 75 x 400 feet. The complete provision states:

“The indicated percentage of gross area (total area in zone, including airport property except in Zone A) should remain free of structures and other major obstacles. To be considered open land the area must be sufficiently large and unobstructed to enable an aircraft to make an emergency landing with a high probability of no serious injuries to the occupants of the aircraft or major damage to structures on the ground. Substantial damage to the aircraft may occur. Spaces as small as approximately 100 feet by 300 feet or 75 feet by 400 feet are considered adequate, although larger areas are desirable. Roads and adjacent landscaping qualify if they are wide enough and not obstructed by large trees, signs, or poles. These areas should be oriented as closely as practical to the common direction of aircraft flight over the area. Jurisdictions may satisfy open space requirements through adoption of an open space plan, which is determined by the Airport Land Use Commission to meet the standards. Such plans must include a statement that no median trees will be planted within 150 feet of intersections on streets qualifying as open space requirements through adoption of an open space plan, which is determined by the Airport Land Use Commission to meet the standards. Such plans must include a statement that no median trees will be planted within 150 feet of intersections on streets qualifying as open space and that trees between 150 and 200 feet of the intersections will be shorter varieties.”

This provision was also reviewed as a part of both the Superior Self Storage warehouse project (ALUC-2015-03) and the Vaca Valley Self Storage project (ALUC-2015-04) acted upon by the Commission on April 9, 2015. The Commission approved the projects with a provision that:

- a) *The applicant shall submit an Open Space Plan to the Airport Land Use Commission, or an ad-hoc committee of the Commission as determined by the Chair, for a determination that the Open Space Plan meets the standards incorporated into the 1988 Nut Tree Airport Land Use Compatibility Plan.*

The subcommittee of two Commissioners met to finalize a plan for open area requirements in Zone B. At that time, the subcommittee and the City came to an agreement on the open space requirements as depicted in Attachment H, H1 and H2.

As a part of this application, the applicant has engaged the services of Meade and Hunt, aviation planners, to evaluate the Open Space Area for adequacy (Attachment F). They have concluded that

“ the required open land for Zone B would be achieved based on existing open land areas within the zone.”

Travis Plan:

There are no open land requirements specified for Compatibility Zone D and thus the project meets the requirements of the Travis Plan.

The proposed commercial building development lies within Zone B which includes open land which meet the 50% requirement in the Nut Tree Plan’s “Notes to the Compatibility Table” as well as the minimum area requirements for Zone B.

Infill Development

The project is not considered infill development and no further discussion is required under this criterion.

Height Limitations and Other Hazards to Flight

Height Limitations

Nut Tree Plan:

The Nut Tree Plan requires compliance with the Part 77 Surfaces which would permit a taller structure than the one proposed.

Travis Plan:

The Height limit for Compatibility Zone D is 200 feet. The project proposes a 1-story building 48.4' in height. The proposal meets the height requirements of the Travis Plan.

Other Hazards to Flight

Nut Tree Plan:

The Nut Tree Plan prohibits any land uses which produce other hazards to flight, such as sources of glare, smoke, communications interference, bird attractions and similar hazards.

Travis Plan:

There are no land use limitations within compatibility zone D. The Plan does prohibit “Other Hazards to Flight” which typically consist of sources of smoke or glare, attraction of birds, flashing lights and sources of electronic interference.

None of these hazards are present in the proposed development and the proposed project meets the requirements of the Travis Plan and the revised Nut Tree Plan.

Buyer Awareness Measures

Nut Tree Plan:

Buyer awareness measures are not required by the Nut Tree Plan, but local governments are encouraged to develop such a program. Overflight Easements are required by the Nut Tree Plan and will be obtained by the City of Vacaville. The easement should include a maximum occupancy limitation and conditions which assure the maintenance of the open area requirements required.

Travis Plan:

Buyer awareness measures are not required within Compatibility Zone D.

Non-conforming Uses and Reconstruction

The project does not involve reconstruction or non-conforming uses. As a consequence, no further discussion is required under this topic.

Conclusion

Based on the analysis above, the Lister Commercial Building project is **consistent** with the Nut Tree Plan and **is consistent** with the Travis Plan.

PROPOSED FINDINGS

Staff is recommending the Commission make the following findings with respect to the Lister Commercial Building project:

1. That the proposal is consistent with the applicable provisions of the Travis Air Force Base Land Use Compatibility Plan since the proposal resides in Compatibility Zone D of the Travis Plan which has no limitations on the intensity of non-residential land uses and does not infringe on the 200-foot height limit or contain any other hazards to flight.
2. That the proposal is consistent with the Compatibility Criteria Table provisions of the Revised Nut Tree Land Use Compatibility Plan.

RECOMMENDATION

Based on the analysis and discussions above, staff recommends that the Solano County Airport Land Use Commission:

1. Conduct the Public Hearing, and
2. Determine that ALUC-20-04, the proposed Lister Commercial Building project **is consistent** with the Nut Tree Land Use Compatibility Plan (Nut Tree Plan), and that the project **is consistent** with the Travis Air Force Base Land Use Compatibility Plan (Travis Plan).

ATTACHMENTS

- Attachment A: Application
- Attachment B: Vicinity Map
- Attachment C: Aerial Map
- Attachment D: Travis Plan Context Map
- Attachment E: Nut Tree Context Map
- Attachment E1: Close-Up Nut Tree Context Map
- Attachment F: Meade and Hunt Analysis
- Attachment G: Project Plans
- Attachment H: ALUC Compliance Memo
- Attachment H1: Zone B Map (4-13-15)
- Attachment H2: Zone B Map (4-21-15)
- Attachment I: Resolution (To be distributed at the hearing)

Solano County Airport Land Use Commission

675 Texas Street, Suite 5500
Fairfield, CA 94533
Tel 707.784.6765
Fax 707.784.4805

LAND USE COMPATIBILITY DETERMINATION: APPLICATION FORM

TO BE COMPLETED BY STAFF		
APPLICATION NUMBER:	FILING FEE:	
DATE FILED:	RECEIPT NUMBER:	
JURISDICTION:	RECEIVED BY:	
PROJECT APN(S): 0133-380-010.		
TO BE COMPLETED BY THE APPLICANT		
I. GENERAL INFORMATION		
NAME OF AGENCY: City of Vacaville Community Development Department Planning Division Offices	DATE: 04.09.20	
ADDRESS: City Hall 650 Merchant Street Vacaville, CA 95688		
E-MAIL ADDRESS: albert.enault@cityofvacaville.com	DAYTIME PHONE: (707) 449-5140	FAX: (707) 449-5423
NAME OF PROPERTY OWNER: Rob Henley A2R Architects	DATE: 04.09.20	
ADDRESS: 190 S. Orchard Avenue, Suite C250 Vacaville, CA 95688	DAYTIME PHONE: (707) 453-0196	
NAME OF DOCUMENT PREPARER: Albert Enault Associate Planner	DATE: 04.09.20	
ADDRESS: Planning Division Offices 650 Merchant Street Vacaville, CA 95688	DAYTIME PHONE: (707) 449-5140 (707) 449-5364	FAX: (707) 449-5423
NAME OF PROJECT: Lister Commercial Building		
PROJECT LOCATION: Located at the southeast corner of E. Monte Vista Avenue and Aviator Drive, adjacent to Interstate 505.		
STREET ADDRESS: East Monte Vista Avenue Vacaville, CA 95688		

PLEASE CALL THE APPOINTMENT DESK AT (707) 784-6765 FOR AN APPLICATION APPOINTMENT.

TO BE COMPLETED BY THE APPLICANT

II. DESCRIPTION OF PROJECT

The project proposal is to construct an approximately 20,500 square foot, one-story building on a vacant 3.66-acre site located at the southeast corner of East Monte Vista Avenue and Aviator Drive, adjacent to Interstate 505. The site plan includes 53 parking spaces, a trash enclosure and perimeter landscaping with two driveways on East Monte Vista Avenue. The building includes two tenant spaces: (1) a 15,125 sq. ft. tenant space for retail service with warehousing (Ambrose Solar); and (2) a 5,420 sq. ft. tenant space for commercial equipment rental (Lister Construction). Maximum building height is 36 ft. above mean sea level. The proposed Floor Area Ratio (FAR) is 0.13, which is less than the 0.30 FAR allowed by the Vacaville-Golden Hills Business Park Policy Plan. Local land use actions consist of Design Review and Conditional Use Permit, which require approval from the Director of Community Development.

The site is bordered by East Monte Vista Avenue to the west and south, Interstate 505 to the east, and a self-storage facility to the north. The site consists of disturbed ruderal non-native grass. No trees are on the property. The western boundary is improved to curb and gutter along East Monte Vista Avenue, while the eastern property line is bound by an on-ramp to Interstate 505 and drainage channel. The drainage channel extends from the edge of the eastern property line approximately 56 feet to the on-ramp, and is dedicated to Caltrans. The channel appears to have standing water in it most times of the year from upstream irrigation and is fenced. The project does not include any changes to the drainage ditch.

The maximum height of the building is 36 feet, which is 139 feet above mean sea level. This site is located approximately 3,700 feet from the northern end of the runway. The runway elevation is 113 feet. The approach surface increases at 1 foot per 50 feet. The maximum allowable building elevation is therefore $(113 + 3700/50 = 187)$ feet above sea level. The building has a finished floor of 103 feet above sea level. The top of the building would then be $(103 + 36 = 139)$, or forty-eight (48) feet below the height restriction.

Ambrose Solar will operate with 40 employees from Monday through Friday from 7:00 AM to 6:00 PM. Lister Construction will operate with 5 employees from Monday through Friday from 7:00 AM to 4:00 PM.

The project is located within Zone B of the Nut Tree Airport Compatibility Plan, and Zone D of the Travis Air Force Base Compatibility Plan. According to Table 14.09.134.01 of the Vacaville Land Use and Development and Section IV.C.2.d(4) (Aviation-Related Restrictions) of the Vacaville-Golden Hills Business Park Policy Plan, the Solano Airport Land Use Commission (ALUC) shall review applications involving a question of compatibility with airport activities. Therefore, the applicant is requesting the ALUC to determine compatibility with the Nut Tree Airport and Travis Air Force Base.

PLEASE CALL THE APPOINTMENT DESK AT (707) 784-6765 FOR AN APPLICATION APPOINTMENT.

TO BE COMPLETED BY THE APPLICANT

II. DESCRIPTION OF PROJECT (CONT'D)

POTENTIAL PROJECT EMISSIONS: (i.e. smoke, steam, glare, radio, signals):
 The project will not include any potential emissions that would affect the operations of the Nut Tree Airport or Travis Air Force Base.

PROJECT AIRPORT LAND USE COMPATIBILITY PLAN: Nut Tree Airport Compatibility Plan and Travis Air Force Base Compatibility Plan	COMPATIBILITY ZONE: Nut Tree Airport Plan: Zone B Travis Air Force Base Plan: Zone D
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PERCENTAGE OF LAND COVERAGE: 13% The project will add 20,500 sq. ft. to the site	MAXIMUM PERSONS PER ACRE: 12.3 persons/acre. The project will add 45 people to the site.
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THE FOLLOWING INFORMATION MUST BE SUBMITTED AS A MINIMUM REQUIREMENT:

- JURISDICTION REFERRAL LETTER: *See attachment.*
- ENVIRONMENTAL DOCUMENTATION: *Categorical Exemption in accordance with Section 15303 of CEQA.*
- LOCATION MAP: *See attachment.*
- ASSESSOR'S PARCEL MAP, with subject property marked in red: *See attachment.*
- SITE PLAN, drawn to scale and fully dimensioned including topographical information, and 8 1/2 x 11 inch reduction(s): *See attachment.*
- ELEVATIONS, if located in APZ, clear zones and A,B,C compatibility zones or over 200' in height, plus 8 1/2 x 11 inch reduction(s): *See attachment.*
- WIND TURBINE STUDY, including cumulative impact studies. Such studies shall include an analysis of (1) the individual effects of the proposed project, and (2) as required by law, an analysis of the cumulative effects of the proposed project considered in connection with the effects of past projects, the effects of other current projects and proposed projects, and the effects of probable future projects, including (i) the probable build out for wind energy development of the remaining vacant parcels within the wind resource areas described in the Solano County General Plan and (ii) any probable replacement of existing turbines or meteorological towers with structures having different dimensions: **Not applicable.**
- SUPPLEMENTAL INFORMATION: *Site photos, project description from project proponent, response to item N.*
- FEES: \$200.00
- ELECTRONIC COPIES OF ALL APPLICATION MATERIALS ON A CD: *See attachment.*

X.....
 APPLICANT SIGNATURE _____ DATE _____

DOES THE PROJECT PROPOSE THE DEMOLITION OR ALTERATION OF ANY EXISTING STRUCTURES ON THE PROJECT SITE? YES NO If yes, describe below:

PLEASE CALL THE APPOINTMENT DESK AT (707) 784-6765 FOR AN APPLICATION APPOINTMENT

AIRPORT LAND USE COMMISSION
APPLICATION SUBMITTAL ITEMS

ITEM B

LOCAL AGENCY REFERRAL LETTER



CITY OF VACAVILLE

650 MERCHANT STREET
VACAVILLE, CALIFORNIA 95688-6908
www.cityofvacaville.com
707-449-5100

RON ROWLETT
Mayor

RAYMOND BEATY
Vice Mayor

DILENNA HARRIS
Councilmember

MITCH MASHBURN
Councilmember

NOLAN SULLIVAN
Councilmember

ESTABLISHED 1850

April 9, 2020

Community Development Department
Planning Division

Mr. Jim Leland
Solano County Resource Management Department
675 Texas Street
Fairfield, CA 94533

SUBJECT: LOCAL AGENCY REFERRAL LETTER – LISTER COMMERCIAL BUILDING
Southeast corner of East Monte Vista Avenue and Aviator Drive
Conditional Use Permit and Design Review (File No. 20-096)

Dear Jim:

This letter will serve as the Local Agency Referral Letter acknowledging the submittal of the Lister Commercial Building Land Use Compatibility Determination by the Airport Land Use Commission (ALUC). The applicant for the request is Mr. Rob Henley with A2R Architects. The project proposal is to construct an approximately 20,500 sq. ft., one-story commercial building at the southeast corner of East Monte Vista Avenue and Aviator Drive, in Vacaville. The site plan includes 53 on-site parking spaces and access via two driveways on East Monte Vista Avenue.

The project site appears to be located within Zone D of the Travis Air Force Base Airport Land Use Compatibility Plan. The project site is also located within Zone B of the Nut Tree Airport Land Use Compatibility Plan. The applicant has compiled the materials listed in the County's instructions for preparing an application. Pursuant to Section 15183 (Projects Consistent with a Community Plan or Zoning) and Section 15332 (In-Fill Development Projects) of the California Environmental Quality Act (CEQA), the project is exempt from environmental review.

Please let me know if you see anything missing that is either required for the review or that would be helpful for the County staff or for the ALUC members as part of the consistency review. If you have any questions, please feel free to contact me by phone at (707) 449-5364 or by email at albert.enault@cityofvacaville.com.

Sincerely,

ALBERT ENAULT,
Associate Planner

AIRPORT LAND USE COMMISSION
APPLICATION SUBMITTAL ITEMS

ITEM C

STAFF REPORTS NOT REQUIRED
FOR PROJECT

AIRPORT LAND USE COMMISSION
APPLICATION SUBMITTAL ITEMS

ITEM D

NOT APPLICABLE
PROJECT IS EXEMPT FROM CEQA

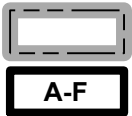
AIRPORT LAND USE COMMISSION
APPLICATION SUBMITTAL ITEMS

ITEM E

LOCATION MAP



ITEM E - LOCATION MAP



PROJECT SITE
A-F COMPATIBILITY ZONES



LISTER COMMERCIAL BUILDING

SOUTHEAST CORNER OF EAST MONTE VISTA AVENUE AND AVIATOR DRIVE

FILE NO. 20-096

APN 0133-380-010

AIRPORT LAND USE COMMISSION
APPLICATION SUBMITTAL ITEMS

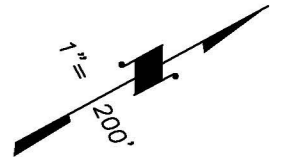
ITEM F

ASSESSOR'S PARCEL MAP

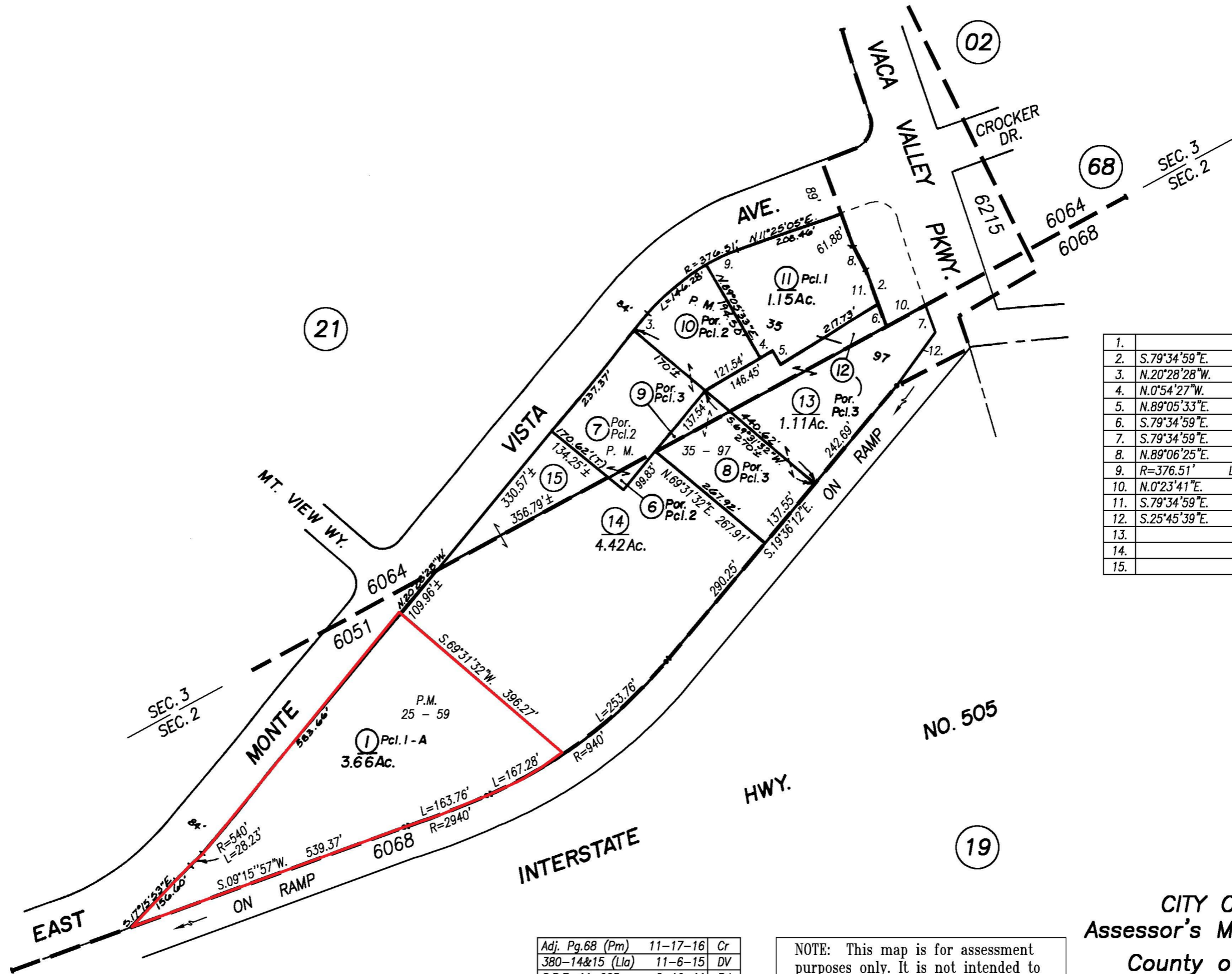
POR. LOT 37, RANCHO LOS PUTOS
 POR. S.W.1/4 SEC. 2 & POR. S.E.1/4 SEC. 3, T.6N., R.1W., M.D.B.& M. EXT.

Tax Area Code
 6051
 6064

133-38



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1.		
2.	S.79°34'59"E.	110.47'
3.	N.20°28'28"W.	37.03'
4.	N.0°54'27"W.	24.91'
5.	N.89°05'33"E.	27.50'
6.	S.79°34'59"E.	51.76'
7.	S.79°34'59"E.	48.67'
8.	N.89°06'25"E.	50.99'
9.	R=376.51' L=	63.30'
10.	N.0°23'41"E.	81.24'
11.	S.79°34'59"E.	58.71'
12.	S.25°45'39"E.	116.12'
13.		
14.		
15.		

Adj. Pg.68 (Pm)	11-17-16	Cr
380-14&15 (Lla)	11-6-15	DV
S.B.E. 11-005	2-10-11	Pd
Map Maint.	4-15-06	JS
REVISION	DATE	BY

NOTE: This map is for assessment purposes only. It is not intended to define legal boundary rights or imply compliance with land division laws.

Assessor's Block Numbers Shown in Ellipses, Assessor's Parcel Numbers Shown in Circles

CITY OF VACAVILLE
 Assessor's Map Bk. 133 Pg. 38
 County of Solano, Calif.

OWNER'S CERTIFICATE

THE UNDERSIGNED, HERCULES ARNOLD, AND B. ALONSO, HEREBY CERTIFY THEY ARE THE ONLY ENTITLED PARTIES TO THE LAND DELINEATED WITHIN THE DISTINCTIVE BORDER OF THIS PARCEL MAP, AND HEREBY CONSENT TO THE PREPARATION AND RECORDATION OF SAID MAP. WE DEDICATE TO THE CITY OF VACAVILLE, FOR PUBLIC USE, EASEMENTS FOR GAS, ELECTRIC, TELEPHONE AND CABLE TELEVISION PURPOSES DESIGNATED ON SAID MAP AS P.U.E. (PUBLIC UTILITY EASEMENT) AND ALL USES INCIDENT THERETO INCLUDING THE RIGHT TO MAKE CONNECTIONS THEREWITH FROM ANY ADJOINING PROPERTIES. WE ALSO DEDICATE TO THE CITY OF VACAVILLE, THAT EASEMENT FOR STORM DRAIN PURPOSES DESIGNATED ON SAID MAP AS STORM DRAIN EASEMENT.

IN WITNESS WHEREOF, THE UNDERSIGNED HAVE CAUSED THEIR NAMES TO BE SUBSCRIBED ON THIS 7th DAY OF October, 1983.

B. Alonso Hercules Arnold

PARCEL MAP ARNOLD/ALONSO PROPERTY

BEING THE LAND SHOWN IN BK. 23, P.M., PG. 34. CITY OF VACAVILLE

COUNTY OF SOLANO STATE OF CALIFORNIA SCALE: 1"=100' JULY, 1983

cpa cullen-phillippi associates, inc.

405-A BOYD STREET VACAVILLE, CALIFORNIA (707) 446-3434

STATE OF CALIFORNIA SS COUNTY OF SOLANO

On this 7th day of October, 1983, before me, Lawrence J. Drayton, a Notary Public in and for said County and State, personally appeared B. Alonso and Hercules Arnold

subscribed to the within instrument and acknowledged to me that they executed the same.

WITNESS my hand official seal.



Lawrence J. Drayton

CLERK OF THE CITY COUNCIL CERTIFICATE

I, CORINNE L. GRANNEN, CITY CLERK AND CLERK OF THE COUNCIL OF THE CITY OF VACAVILLE, COUNTY OF SOLANO, STATE OF CALIFORNIA, DO HEREBY CERTIFY THAT THE COUNCIL OF THE CITY OF VACAVILLE BY RESOLUTION 1977-M-8 ACCEPT ON BEHALF OF THE CITY, THE DEDICATION OF THE STORM DRAIN EASEMENT AND THE PUBLIC UTILITY EASEMENT, ALL AS SHOWN WITHIN THE DISTINCTIVE BORDER.

IN WITNESS WHEREOF, I HEREBY SET MY HAND THIS 8th DAY OF November, 1983.

Corinne L. Grannen, City Clerk

ENGINEER'S CERTIFICATE

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCE AT THE REQUEST OF Hercules Arnold ON August 1983. I HEREBY STATE THAT THIS PARCEL MAP SUBSTANTIALLY CONFORMS TO THE APPROVED OR CONDITIONALLY APPROVED TENTATIVE MAP, IF ANY, THAT ALL OF THE MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED; THAT SAID MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

DATED October 7, 1983

Thomas A. Phillippi, R.C.M. 32067



CITY ENGINEER'S CERTIFICATE

This map conforms with the requirements of the Subdivision Map Act and local ordinance. DATED: 2 NOVEMBER 1983

Joseph A. Munoz, Jr., City Engineer

PLANNING & COMMUNITY DEV. DIRECTOR'S CERTIFICATE

THIS MAP HAS BEEN EXAMINED THIS 8th DAY OF NOV. 1983, AND WAS FOUND TO BE EXEMPT FROM PARCEL MAP REQUIREMENTS PER SECTION 66428 OF THE SUBDIVISION MAP ACT.

SIGNED: August W. Wernice

COUNTY TAX COLLECTOR'S CERTIFICATE

I, Virginia Ryan, County Tax Collector of Solano County, California, do hereby certify that according to the records of this office, there are no liens against this subdivision or any part thereof for unpaid State, County, Municipal, or Local Taxes, except taxes or special assessments not yet payable.

Dated: 12-21-83 Virginia Ryan, County Tax Collector, by Janice E. Walker, Deputy

COUNTY RECORDER'S CERTIFICATE

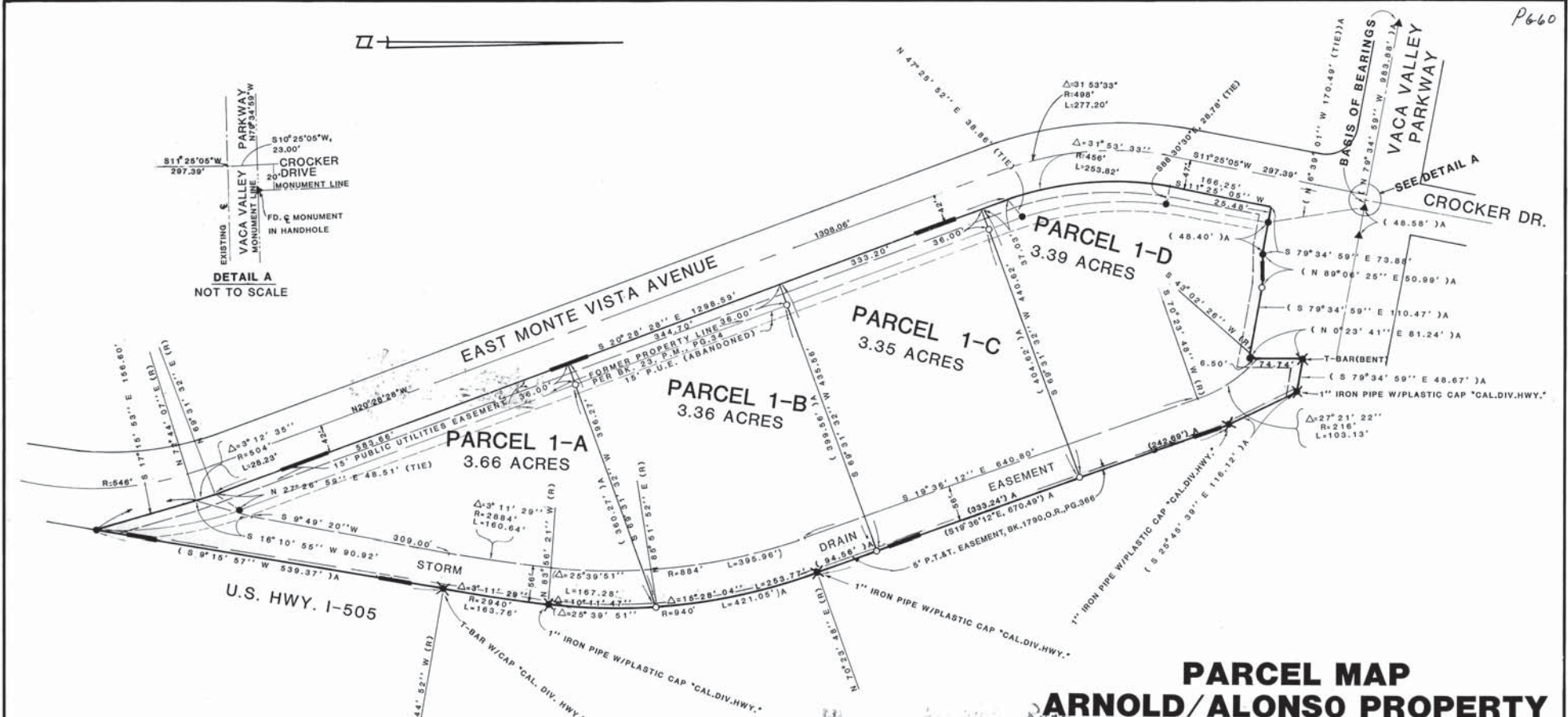
Filed this 21st day of DECEMBER, 1983, at 12:22 P.M. in Book 25 of Parcel Maps at Page 59 at the request of Thomas A. Phillippi.

Ronald J. Ayres, County Recorder

By: Deputy

7659

25 PM 59



DETAIL A
NOT TO SCALE

SEE DETAIL A

PARCEL MAP ARNOLD/ALONSO PROPERTY

BEING THE LAND SHOWN
IN BK. 23, P.M., PG. 34.
CITY OF VACAVILLE
COUNTY OF SOLANO STATE OF CALIFORNIA
SCALE: 1"=100'
JULY, 1983

cpa cullen-philippi associates, inc.

405-A BOYD ST. VACAVILLE, CALIFORNIA
(707) 446-3434

BASIS OF BEARINGS

THE BEARINGS ON THIS MAP BASED ON THE CENTERLINE OF VACA VALLEY PARKWAY AS SHOWN ON BK. 18, PARCEL MAPS, PG. 45. THAT BEARING BEING N 79°34' 59" W.

NOTE :

THE PURPOSE OF THIS MAP IS A TRANSFER OF PROPERTY AND NOT THE CREATION OF AN ADDITIONAL PARCEL OF RECORD.

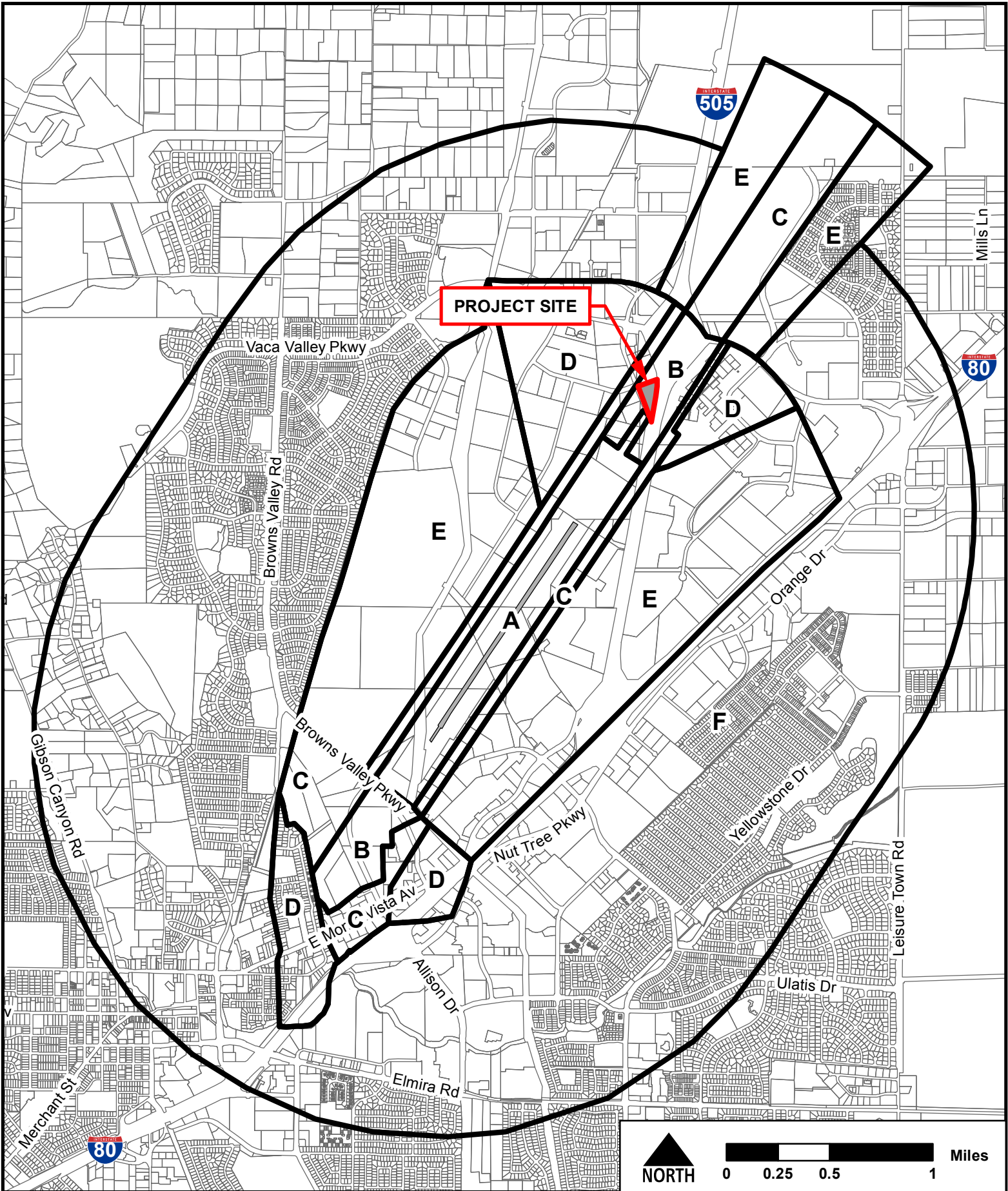
LEGEND

- FOUND 3/4" IRON PIPE, L.S. 3764, PER BK. 23, PARCEL MAPS, PG. 34.
- ▲ FOUND STANDARD CITY MONUMENT PER BK. 18, PARCEL MAPS, PG. 45
- LACK OF ABUTTERS RIGHTS PER 1976 O.R., 13238 & 1776 O.R., 350
- () JA DENOTES RECORD AND MEASURED INFORMATION PER BK. 23, PARCEL MAPS, PG. 34
- DENOTES EXTERIOR BOUNDARY
- FOUND 3/4" IRON PIPE TAGGED RCE 11247 PER BK. 23, PARCEL MAPS PG.34
- ✕ FOUND POINT, AS NOTED, PER BK.23, PARCEL MAPS,PG.34

AIRPORT LAND USE COMMISSION
APPLICATION SUBMITTAL ITEMS

ITEM G

AIRPORT BOUNDARY MAP



ITEM G - AIRPORT MAP

- PROJECT SITE
- A-F COMPATIBILITY ZONES



LISTER COMMERCIAL BUILDING

SOUTHEAST CORNER OF EAST MONTE VISTA AVENUE AND AVIATOR DRIVE

FILE NO. 20-096

APN 0133-380-010

AIRPORT LAND USE COMMISSION
APPLICATION SUBMITTAL ITEMS

ITEM H

PROJECT PLANS

PROPOSED BUILDING FOR: LISTER CONSTRUCTION

TOTAL AREA: 20,546 SF
2300 E. MONTE VISTA AVENUE
VACAVILLE, CA 95688

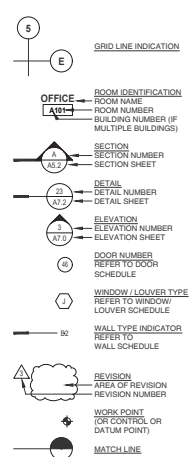


CONSULTANTS

ABBREVIATIONS

& And	F File	P Paint
∠ Angle	F.A. Fire Alarm	PA Planting Area
∅ Diameter or Round	F.B. Flat Bar	P.V. Post Indicator Valve
# Found or Number	F.D. Floor Drain	PRCST. Pre-cast
(E) New	FDC Fire Department	PLAM. Plastic Laminate
ACDUS Acoustical	FDN Foundation	PLAS. Plaster
AD. Access Drain	F.F. Fire Extinguisher	PL.WD. Plywood
ADU Adjustable	F.E. Fire Extinguisher Cabinet	PL. Plaster
ADGR Aggregate	F.H.C. Fire Hose Cabinet	PT. Point
AL. Aluminum	FN. Finish	P.T.D. Paper Towel Dispenser
APPROX. Approximate	FLASH Flashing	P.T.R. Paper Towel Restraint
ASCE Architectural	FLJON Fluorescent	PLIE Public Utility Easement
ASB. Asphalt	F.O.C. Face of Concrete	Q.T. Quarry Tile
ATC Acoustical Tile Ceiling	F.O.S. Face of Slabs	R. Riser
BEW Back Edge of Walk	FFRF. Full Size	RAD. Radius
BD. Board	F.S. Foot of Feet	R.D. Roof Drain
BDGM. Building	FTG. Footing	REFR. Refrigerator
BLDG. Building	FURR. Furring	REIN. Reinforced
BLNK. Blanking	FUT. Future	REQD. Request
BOT. Bottom	G. Grab Bar	RESIL. Resilient
CAB. Cabinet	GALV. Galvanized	RHM. Room
C.B. Catch Basin	G.B. Grab Bar	R.O. Rough Opening
CEM. Cement	GL. Glass	RWD. Redwood
CFR. Ceramic	GND. Ground	R.W.L. Rain Water Leader
CI. Cast Iron	GR. Grate	S. South or Slope
C.O. Corner Guard	GYP. Gypsum	S.C. Solid Core
CLO. Ceiling	G.W.B. Gypsum Wall Board	S.C.D. Slat Cover Dispenser
CLO. Cloaking	H.B. Hose Bib	SCHD. Schedule
CLO. Closet	H.C. Hollow Core	S.D. Slat Dispenser
CLN. Clean Out	HDWD. Hardwood	SD Storm Drain
C.O. Clean Out	H.M. Hollow Metal	SECT. Section
C.O. Clean Out	HRSZ. Horizontal	SED. See Electrical Drawings
COL. Column	HRT. Hour	SH. Shelf
CONC. Concrete	HGT. Height	SHR. Shower
CONN. Connection	LD. Inside Diameter (Dim.)	SHIT. Sheet
CONSTR. Construction	INSUL. Insulation	SM. Similar
CONT. Continuous	INT. Interior	S.N.D. Sanitary Napkin Dispenser
CONTR. Contractor	INT. Inlet	S.N.R. Sanitary Napkin Receptacle
CNTR. Counter	JAN. Janitor	SPC. Specification
CV. Check Valve	JT. Joint	SS. Stainless Steel
DBL. Double	KIT. Kitchen	S.S.K. Service Sink
DVDP. Double Check	LAB. Laboratory	SS. Sanitary Sewer Service
DEPT. Department	LAM. Laminate	SSD. See Structural Drawings
D.F. Drilling 4' Fountain	LAV. Lavatory	STA. Standard
DET. Detail	LOCK. Lock	STD. Standard
DM. Dimension	LT. Light	STR. Structure
DM. Dimension	MAX. Maximum	STR. Structure
D.O. Down	M.C. Medicine Cabinet	STR. Structure
D.O. Door Opening	MEMB. Membrane	STR. Structure
DR. Door	ME. Mechanical	T.C. Top of Curb
DWR. Drawer	MFR. Manufacturer	TEL. Telephone
DWP. Downspout	MIN. Minimum	TER. Tensazzo
D.SP. Dry Standpipe	MN. Manhole	T.A.G. Tongue and Groove
DWG. Drawing	MFR. Manufacturer	THK. Thick
E. East	MISC. Miscellaneous	T.P. Top of Pavement
EA. Each	M.O. Masonry Opening	T.P.D. Toilet Paper Dispenser
E.E. Elevation Joint	MTD. Mounted	T.V. Television
ELEC. Electrical	MULL. Mullion	T.W. Top of Wall
ELEV. Elevation	M.R. Moisture Resistant	TW To Weather
EMER. Emergency	N. North	UNF. Unfinished
ENCL. Enclosure	N.I.C. Not in Contract	UNO.N. Unless Otherwise Noted
E.P. Electrical Panelboard	NO. of # Number	UR. Urinal
EQ. Equal	NOM. Nomin	VERT. Vertical
EQT. Equipment	N.T.S. Not to Scale	VEST. Vestibule
E.W.C. Electric Water Cooder	O.A. Overall	V.I.F. Verify in Field
EXT. Exterior	O.C. On Center	W. West
EXP. Expansion	O.D. Outside Diameter (Dim.)	W. Water
EXT. Extensor	OFF. Office	W. Water
	OPNG. Opening	W.C. Water Closet
	OPP. Opposite	W.D. Without
		W.D. Without
		W.P. Waterproof
		W.SCT. Wainscot
		WT. Weight

SYMBOLS



MATERIALS

	ACOUSTICAL TILE (SECTION)
	BRICK OR C.M.U. (SECTION)
	CEMENT PLASTER (ELEVATION)
	CEMENT PLASTER W/ WIRE LATH (SECTION)
	CEMENT PLASTER W/ EXPANDED LATH (SECTION)
	CERAMIC TILE (PLAN & ELEVATION)
	CONCRETE (SECTION)
	CONCRETE (PLAN)
	CONCRETE MASONRY UNITS (PLAN & SECTION)
	EARTH (SECTION)
	FINISH CARPENTRY (ELEVATION & SECTION)
	GYP/SLM BOARD (SECTION)
	INSULATION, BATT (PLAN & SECTION)
	INSULATION, RIGID (PLAN & SECTION)
	METAL (SECTION)
	POROUS FILL (SECTION)
	PLYWOOD (SECTION)
	WOOD, CONTINUOUS (SECTION)
	WOOD, BLOCKING (SECTION)

VICINITY MAP



APPLICABLE CODES

- 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA ELECTRIC CODE
- 2019 CALIFORNIA FIRE CODE
- 2019 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS
- 2019 CALIFORNIA GREEN BUILDING STANDARDS
- 2019 CALIFORNIA RESIDENTIAL CODE
- CITY OF VACAVILLE PUBLIC WORKS STANDARD SPECIFICATIONS AND DETAILS

SHEET INDEX

GENERAL	
G101	TITLE SHEET
CIVIL	
C1	SITE PLAN
C2	GRADING PLAN
C3	UTILITY PLAN
C4	TOPOGRAPHIC MAP
C5	CONTEXTUAL MAP
LANDSCAPE	
L1	PRELIMINARY LANDSCAPE PLAN
ARCHITECTURAL	
A101	SITE PLAN
A201	FLOOR PLAN
A231	FOOT PLAN
A301	EXTERIOR ELEVATIONS

PLANNING SUBMITTAL

APPROVALS	
PROJECT	

PROPOSED BUILDING FOR: LISTER CONSTRUCTION

2300 E. MONTE VISTA AVE.
VACAVILLE, CA
95687

PROJECT DATA

SUMMARY OF WORK

PROPOSED NEW TILT-UP CONCRETE BUILDING

CONSULTANTS

CIVIL
PHILLIPPI ENGINEERING
425 MERCHANT STREET
VACAVILLE, CA 95688
(707) 451-8556

ISSUE		
DESCRIPTION	DATE	MARK
		1
		2
		3
PROJECT NO:	18025	
DATE:	03/03/20	
DRAWN BY:	J.E.R. - L.J.K.	
CHECKED BY:	R.L.H.	
SHEET TITLE		

SHEET NO



CONSULTANTS

APPROVALS

PLANNING SUBMITTAL

PROJECT

**PROPOSED BUILDING FOR:
LISTER CONSTRUCTION**

2300 E. MONTE VISTA AVE.
VACAVILLE, CA
95687

ISSUE		
DESCRIPTION	DATE	MARK
		1
		2
		3

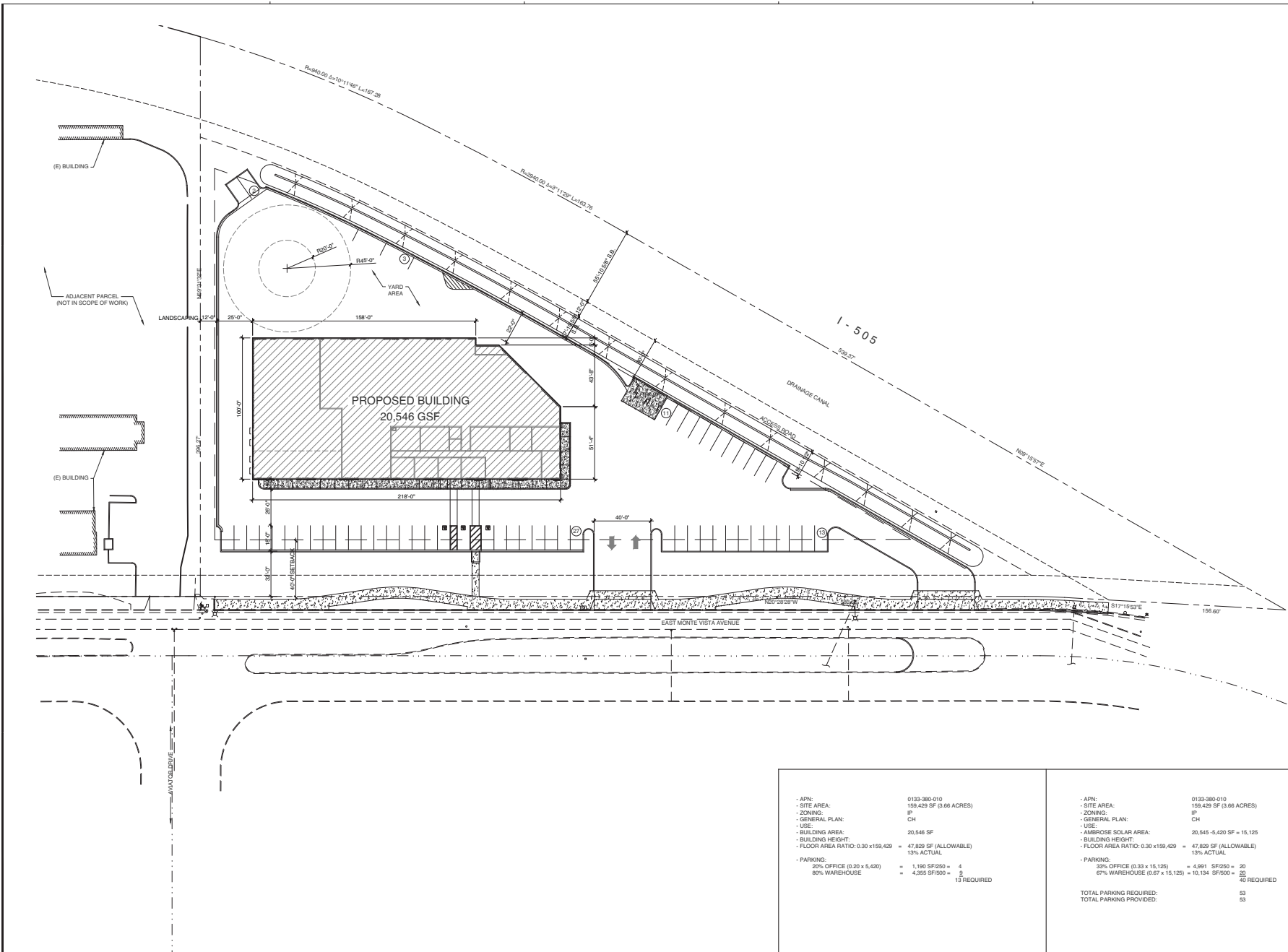
PROJECT NO: 18025
DATE: 03/03/20

DRAWN BY: J.E.R. - L.J.K.
CHECKED BY: R.L.H.

SHEET TITLE
SITE PLAN

SHEET NO

A101



- APN:	0133-380-010	- APN:	0133-380-010
- SITE AREA:	158,429 SF (3.66 ACRES)	- SITE AREA:	158,429 SF (3.66 ACRES)
- ZONING:	IP	- ZONING:	IP
- GENERAL PLAN:	CH	- GENERAL PLAN:	CH
- USE:		- USE:	
- BUILDING AREA:	20,546 SF	- AMBROSE SOLAR AREA:	20,545 - 5,420 SF = 15,125
- BUILDING HEIGHT:		- BUILDING HEIGHT:	
- FLOOR AREA RATIO: 0.30 x 158,429 =	47,829 SF (ALLOWABLE)	- FLOOR AREA RATIO: 0.30 x 158,429 =	47,829 SF (ALLOWABLE)
	13% ACTUAL		13% ACTUAL
- PARKING:		- PARKING:	
20% OFFICE (0.20 x 5,420) =	1,190 SF/250 = 4	33% OFFICE (0.33 x 15,125) =	4,991 SF/250 = 20
80% WAREHOUSE =	4,355 SF/500 = 9	67% WAREHOUSE (0.67 x 15,125) =	10,134 SF/500 = 20
	13 REQUIRED		20 REQUIRED
		TOTAL PARKING REQUIRED:	53
		TOTAL PARKING PROVIDED:	53

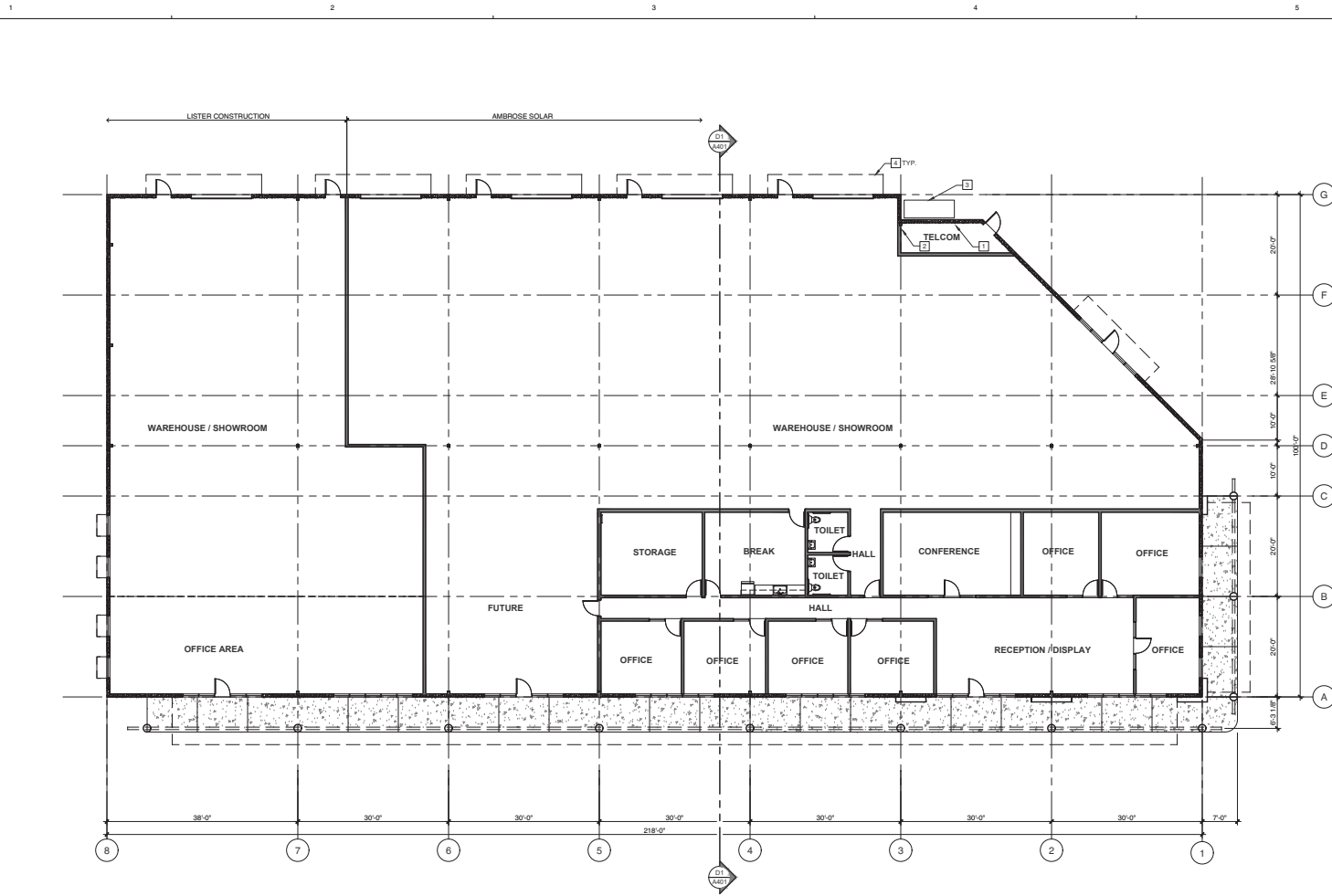
A1 SITE PLAN

1" = 30'-0"

A1 LISTER DEVELOPMENT STATS

A2 AMBROSE SOLAR STATS

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE THE SOLE PROPERTY OF A2R ARCHITECTS INC. ANY USE WITHOUT WRITTEN CONSENT IS PROHIBITED.



B1 FLOOR PLAN

- 1 FIRE RISER
- 2 PHONE BOARD
- 3 SWITCHBOARD
- 4 AWNING

A6 DRAWING NOTES



CONSULTANTS

APPROVALS

PLANNING SUBMITTAL

PROJECT

**PROPOSED BUILDING FOR:
LISTER CONSTRUCTION**

2300 E. MONTE VISTA AVE.
VACAVILLE, CA
95687

DESCRIPTION	DATE	MARK	ISSUE
			1
			2
			3

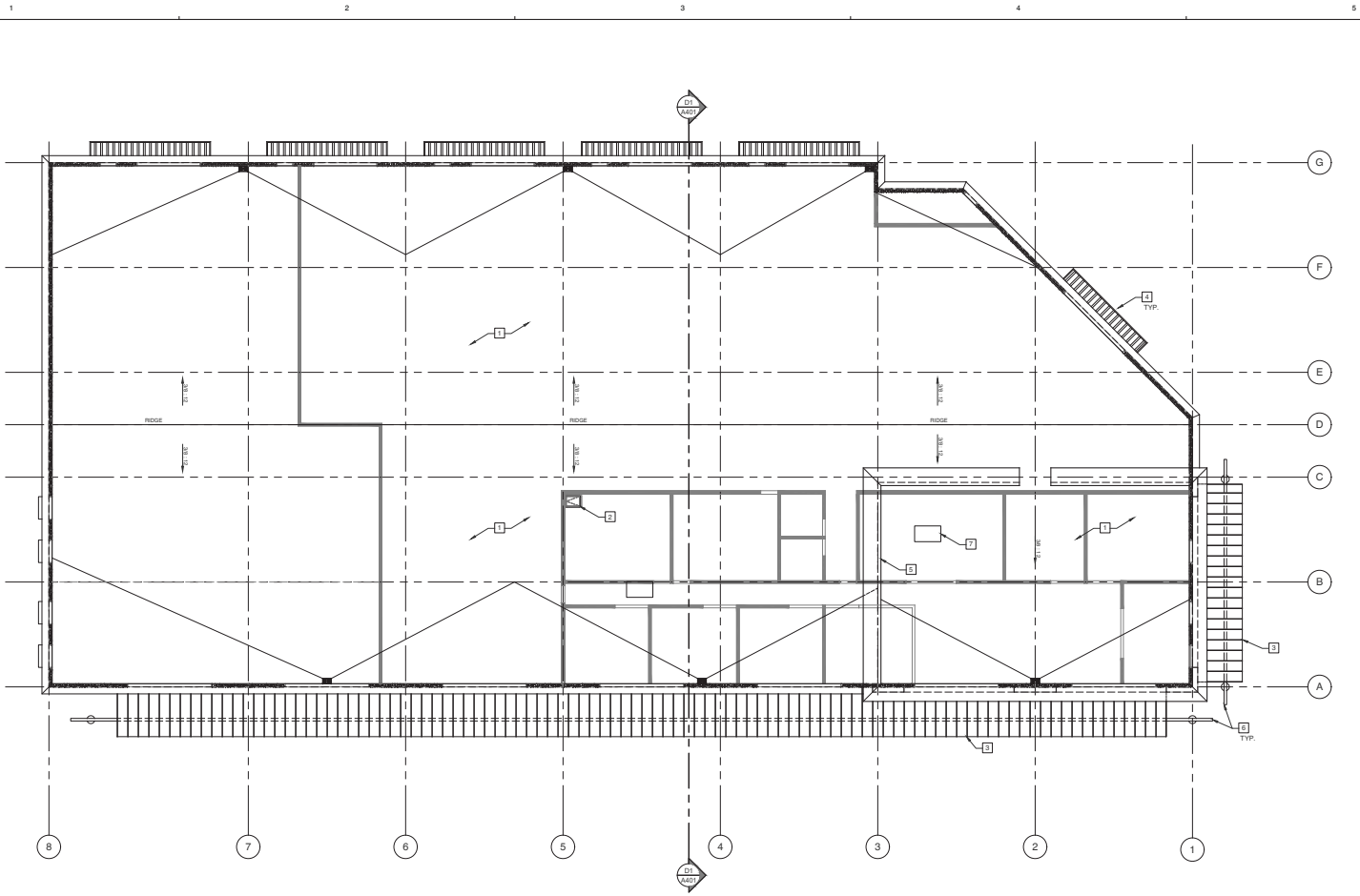
PROJECT NO: 18025
DATE: 03/03/20

DRAWN BY: J.E.R. - L.J.K.
CHECKED BY: R.L.H.

SHEET TITLE
FLOOR PLAN

SHEET NO

A201



B1 ROOF PLAN

3/32" = 1'-0"

- 1 BUR
- 2 ROOF HATCH
- 3 STANDING SEAM METAL ROOF - 12" PANELS
- 4 ALUMINUM CANOPY
- 5 CORNICE
- 6 STEEL FRAMING - PAINT
- 7 AC UNIT

A6 DRAWING NOTES



CONSULTANTS

APPROVALS

PLANNING SUBMITTAL

PROJECT

PROPOSED
BUILDING FOR:
LISTER CONSTRUCTION

2300 E. MONTE VISTA AVE.
VACAVILLE, CA
95687

ISSUE		
DESCRIPTION	DATE	MARK
		1
		2
		3

PROJECT NO: 18025
DATE: 03/03/20

DRAWN BY: J.E.R. - L.J.K.
CHECKED BY: R.L.H.

SHEET TITLE
ROOF PLAN

SHEET NO

A231



CONSULTANTS

APPROVALS

PLANNING SUBMITTAL

PROJECT

PROPOSED
BUILDING FOR:
LISTER CONSTRUCTION

2300 E. MONTE VISTA AVE.
VACAVILLE, CA
95687

ISSUE		
DESCRIPTION	DATE	MARK
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		2
		3

PROJECT NO: 18025
DATE: 03/03/20

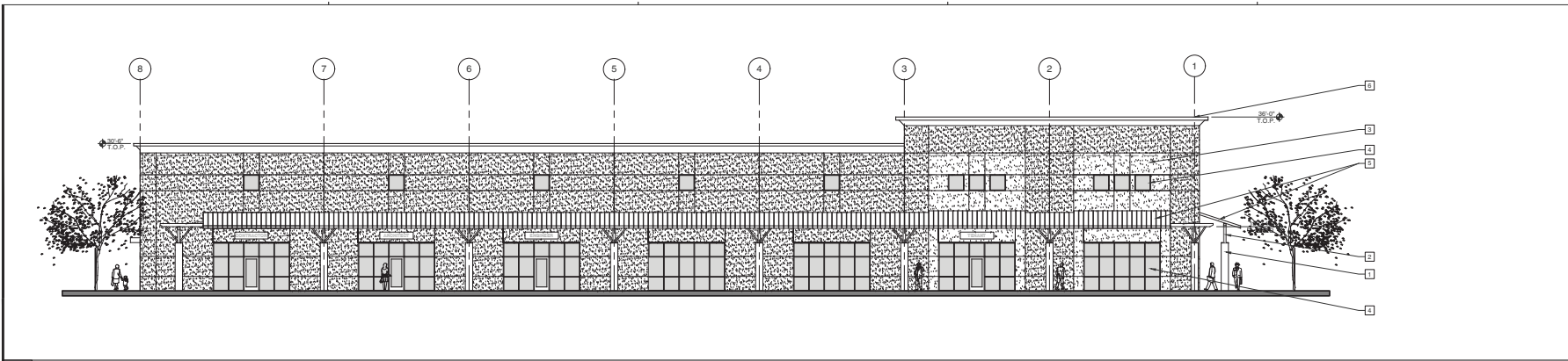
DRAWN BY: J.E.R. - L.J.K.
CHECKED BY: R.L.H.

SHEET TITLE

**EXTERIOR
ELEVATIONS**

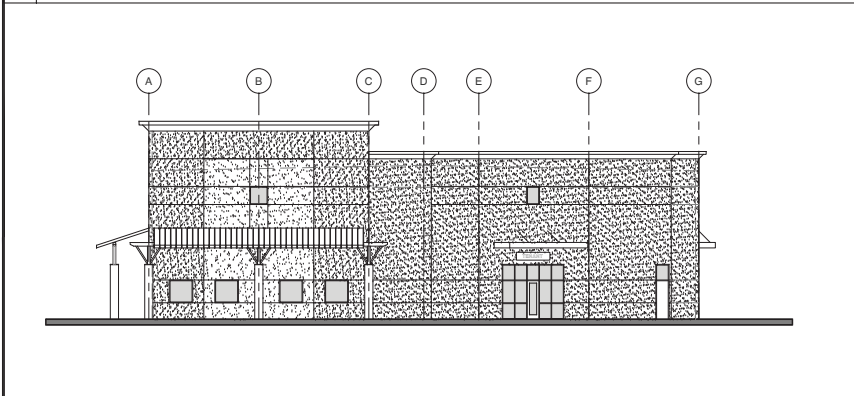
SHEET NO

A301



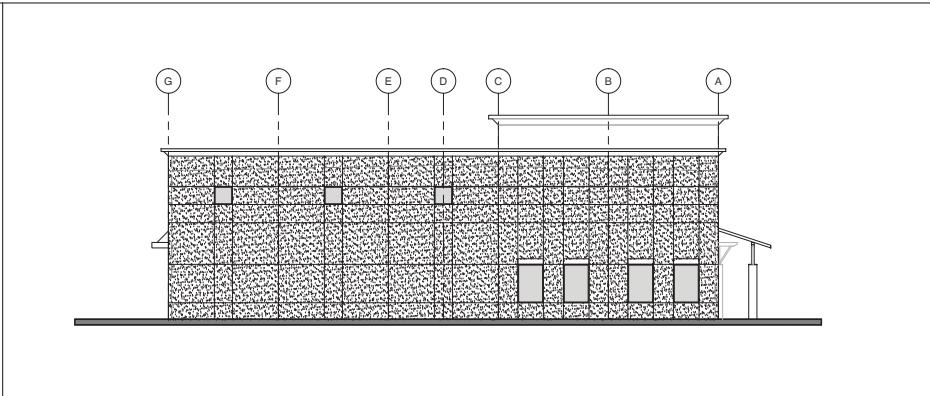
C1 NORTH ELEVATION

3/32" = 1'-0"



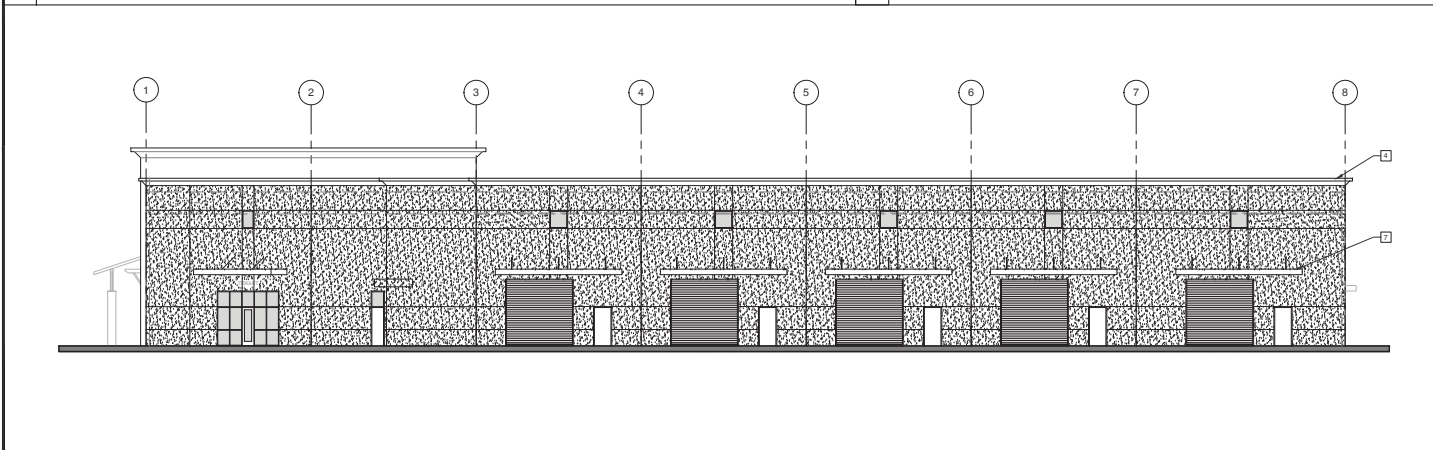
B1 WEST ELEVATION

3/32" = 1'-0"



B4 EAST ELEVATION

3/32" = 1'-0"



A1 SOUTH ELEVATION

3/32" = 1'-0"

A5 DRAWING NOTES

- 1 CONCRETE COLUMNS, TYP.
- 2 STEEL TUBE FRAMING - PAINT
- 3 PLASTER - PAINT
- 4 ALUMINUM STOREFRONT w/ SOLAR GREY GLAZING
- 5 METAL ROOF - STANDING SEAM, 12" PANELS
- 6 CORNICE
- 7 ALUMINUM CANOPY
- 8 PANEL JOINT



CONSULTANTS

APPROVALS

PLANNING SUBMITTAL

PROJECT

PROPOSED
BUILDING FOR:
LISTER CONSTRUCTION

2300 E. MONTE VISTA AVE.
VACAVILLE, CA
95687

DESCRIPTION	ISSUE	
	DATE	MARK
		1
		2
		3

PROJECT NO: 18025
DATE: 03/03/20

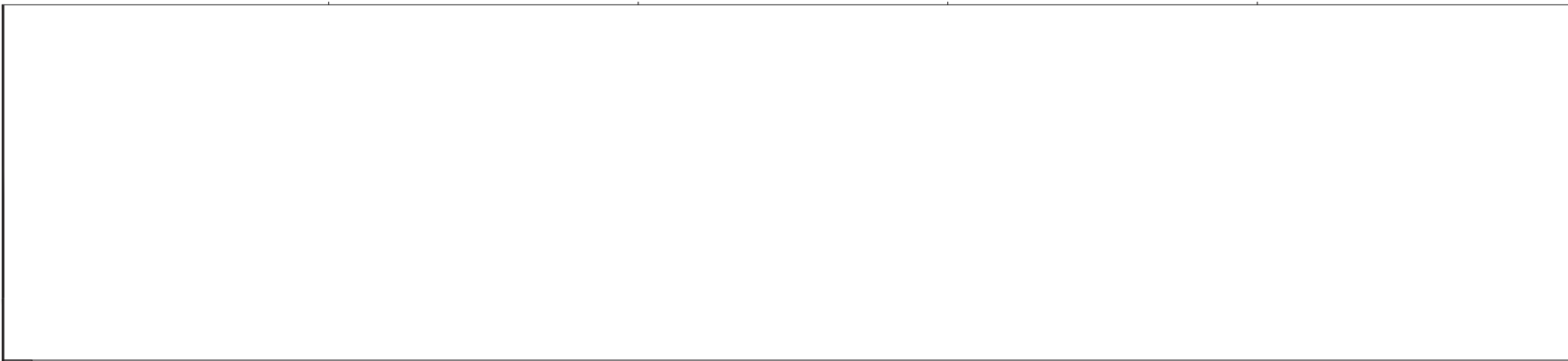
DRAWN BY: J.E.R. - L.J.K.
CHECKED BY: R.L.H.

SHEET TITLE

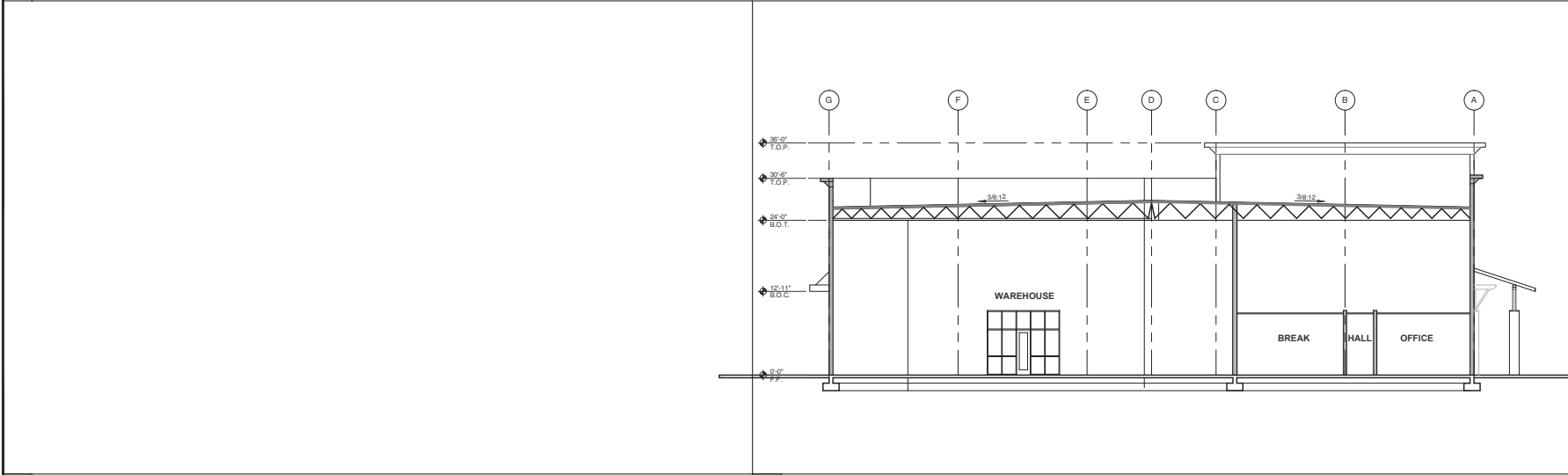
**BUILDING
SECTIONS**

SHEET NO

A401

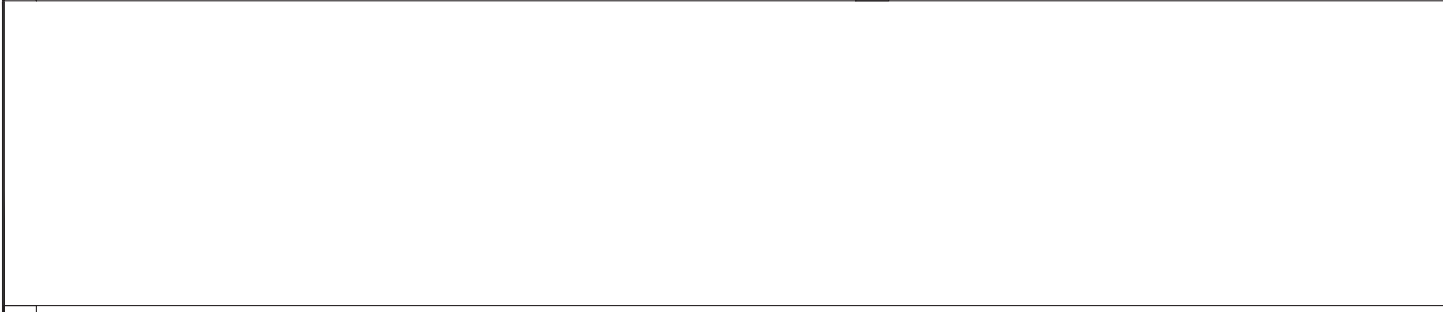


C1 PARTIAL LONG SECTION 3/32" = 1'-0"



B1 WEST ELEVATION 3/32" = 1'-0"

B4 CROSS SECTION 1/8" = 1'-0"



- 1 CONCRETE COLUMNS, TYP.
- 2 STEEL TUBE FRAMING - PAINT
- 3 PLASTER - PAINT
- 4 ALUMINUM STOREFRONT w/ SOLAR GREY GLAZING
- 5 METAL ROOF - STANDING SEAM, 12' PANELS
- 6 CORNICE
- 7 ALUMINUM CANOPY
- 8 PANEL JOINT

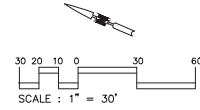
A1 SOUTH ELEVATION 3/32" = 1'-0" **A5 DRAWING NOTES**

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LOCATION MAP

PROPOSED BUILDING FOR LISTER CONSTRUCTION EAST MONTE VISTA VACAVILLE, CA



SHEET INDEX

- C1 - SITE SHEET
- C2 - GRADING PLAN
- C3 - UTILITY PLAN
- C4 - TOPOGRAPHIC MAP
- C5 - CONTEXTUAL MAP/
FIRE TRUCK TEMPLATE

SITE SUMMARY:

APN: 0133-380-010
 ZONING: IP
 GENERAL PLAN: CH
 SITE AREA: 3.66 ACRES
 PARKING: 56 STALLS

ENGINEER:

PHILLIPPI ENGINEERING, INC.
 425 MERCHANT STREET
 VACAVILLE, CA 95696-6556
 707-453-6556

ARCHITECT:

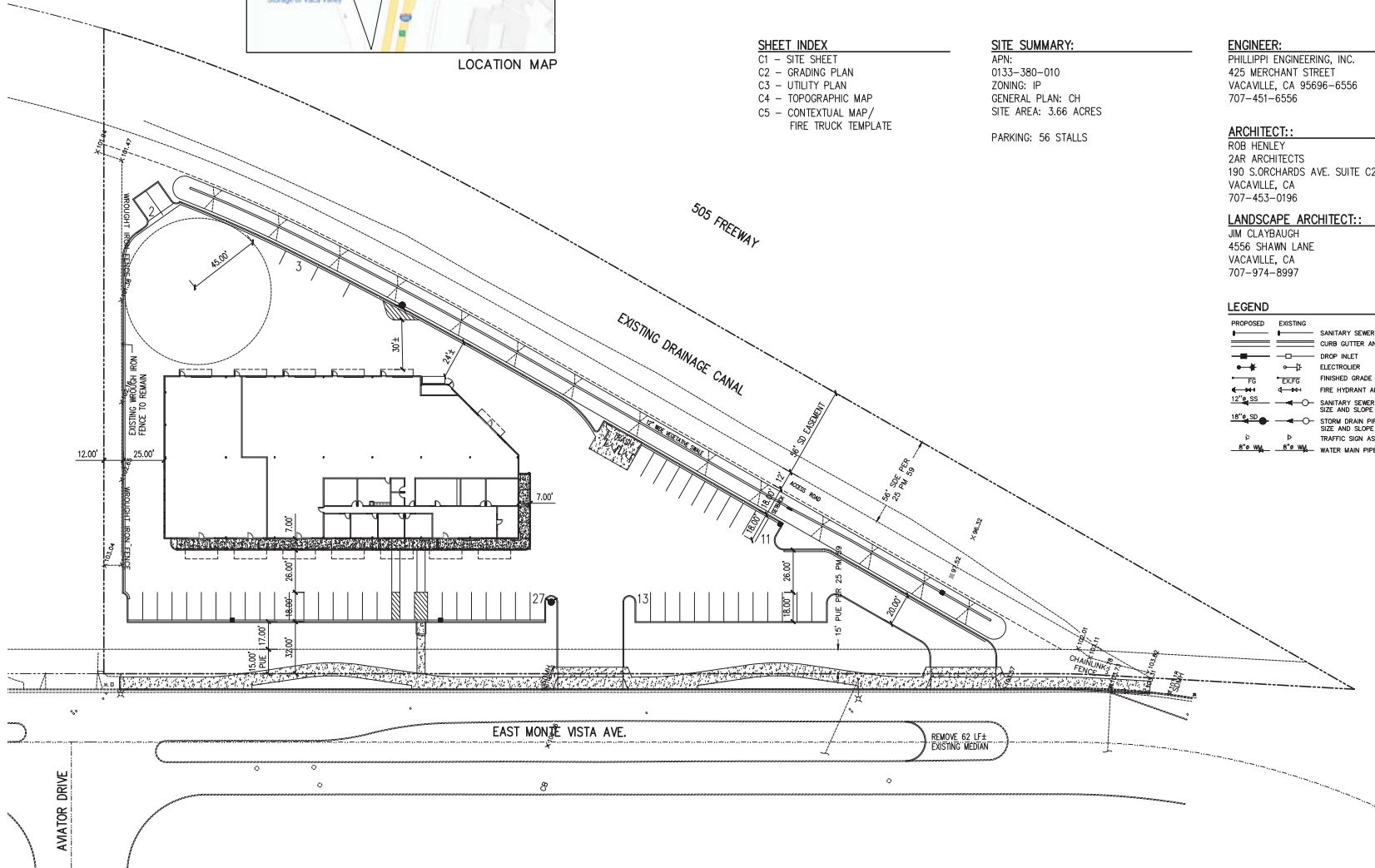
ROB HENLEY
 2AR ARCHITECTS
 190 S. ORCHARDS AVE. SUITE C250
 VACAVILLE, CA
 707-453-0196

LANDSCAPE ARCHITECT:

JIM CLAYBAUGH
 4556 SHAWN LANE
 VACAVILLE, CA
 707-974-8997

LEGEND

PROPOSED	EXISTING	
		SANITARY SEWER CLEANOUT
		CURB GUTTER AND SIDEWALK
		DROP INLET
		ELECTROLUER
		FINISHED GRADE
		FIRE HYDRANT AND VALVE ASSEMBLY
		SANITARY SEWER PIPE AND MANHOLE, SIZE AND SLOPE DIRECTION
		STORM DRAIN PIPE AND MANHOLE, SIZE AND SLOPE DIRECTION
		TRAFFIC SIGN AS NOTED
		WATER MAIN PIPE, SIZE AND VALVE



PHILLIPPI ENGINEERING, INC.
 425 MERCHANT STREET VACAVILLE, CA 95696
 PHONE: (707) 453-6556 FAX: (707) 453-6556
 PROJECT: ETV
 DESIGNED BY: ETV
 CHECKED BY: ETV

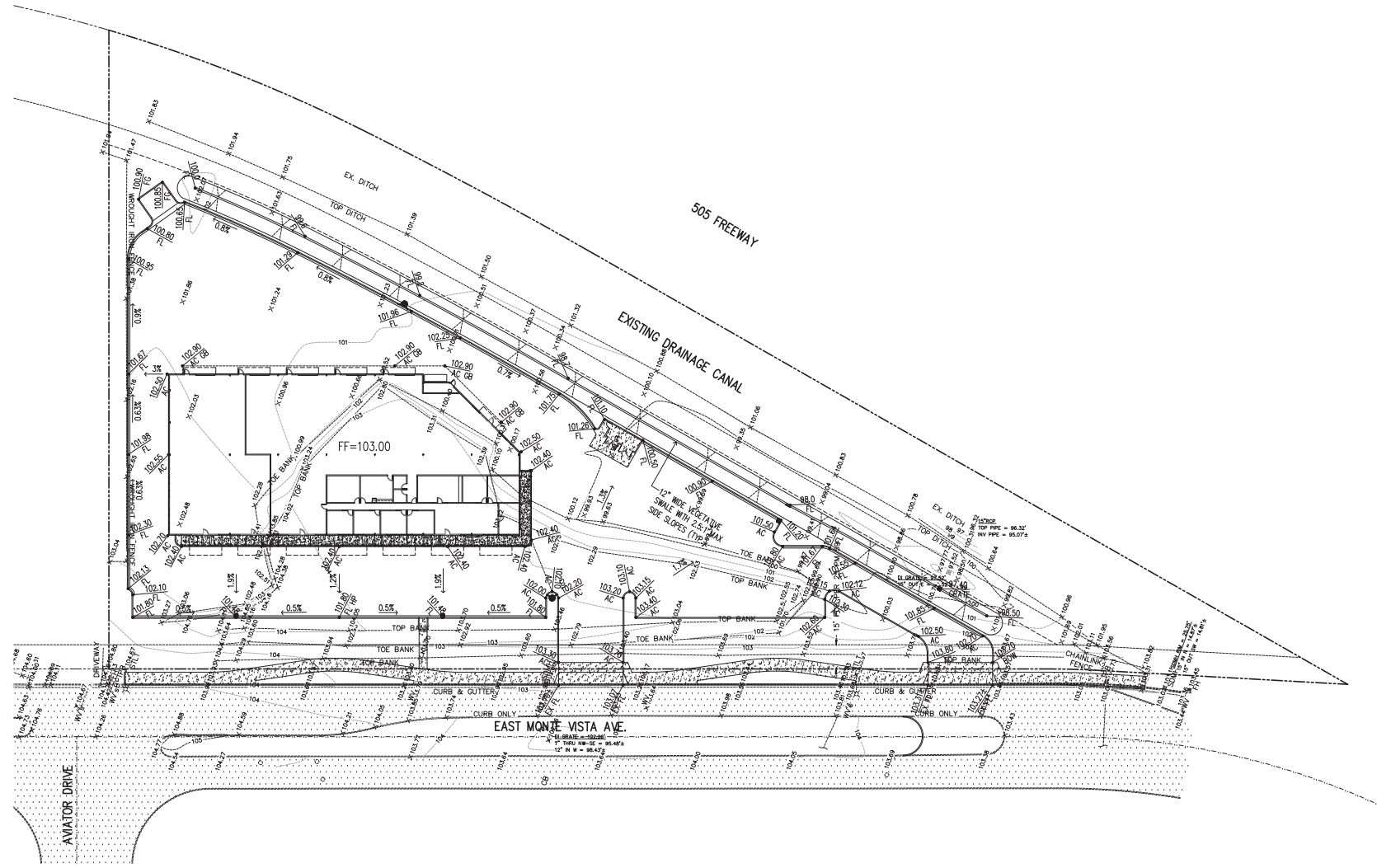
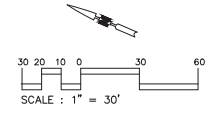
PROJECT NAME/LOCATION:
PROPOSED BUILDING FOR LISTER CONSTRUCTION
 VACAVILLE, CA
 DRAWING TITLE:
SITE PLAN

NO.	DESCRIPTION	DATE

DRAWING FILE:
20190510

ISSUE DATE:
03-03-2020
 PROJECT NO:
20190510





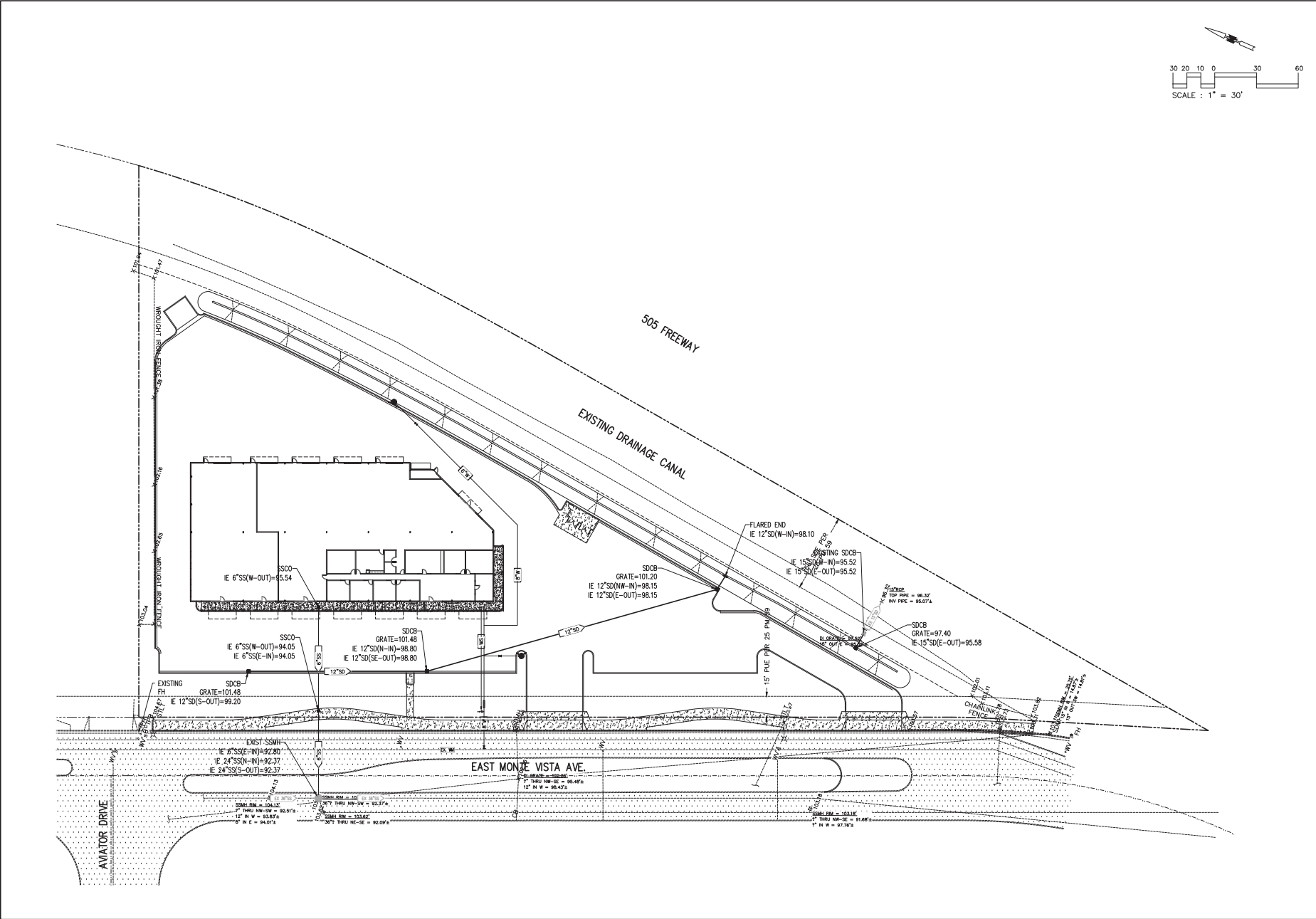
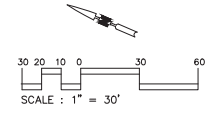
PHILIP ENGINEERING
 1000 UNIVERSITY STREET SUITE 1000
 SAN FRANCISCO, CA 94103
 PHONE: (415) 441-4444 FAX: (415) 441-4444

DESIGNED BY: ETV
 CHECKED BY: ETV

PROJECT NAME/LOCATION: **PROPOSED BUILDING FOR LISTER CONSTRUCTION**
 DRAWING TITLE: **GRADING PLAN**

NO.	DESCRIPTION	DATE

DRAWING FILE: 20190510
 SHEET NO.: 02
 PROJECT NO.: 20190510



PHILLIP ENGINEERING
 400 W. BROADWAY STREET
 SUITE 1000
 DENVER, CO 80202
 PHONE: (303) 441-8888 FAX: (303) 441-8888

DESIGNED BY: ETV
 DRAFTED BY: ETV
 CHECKED BY: ETV

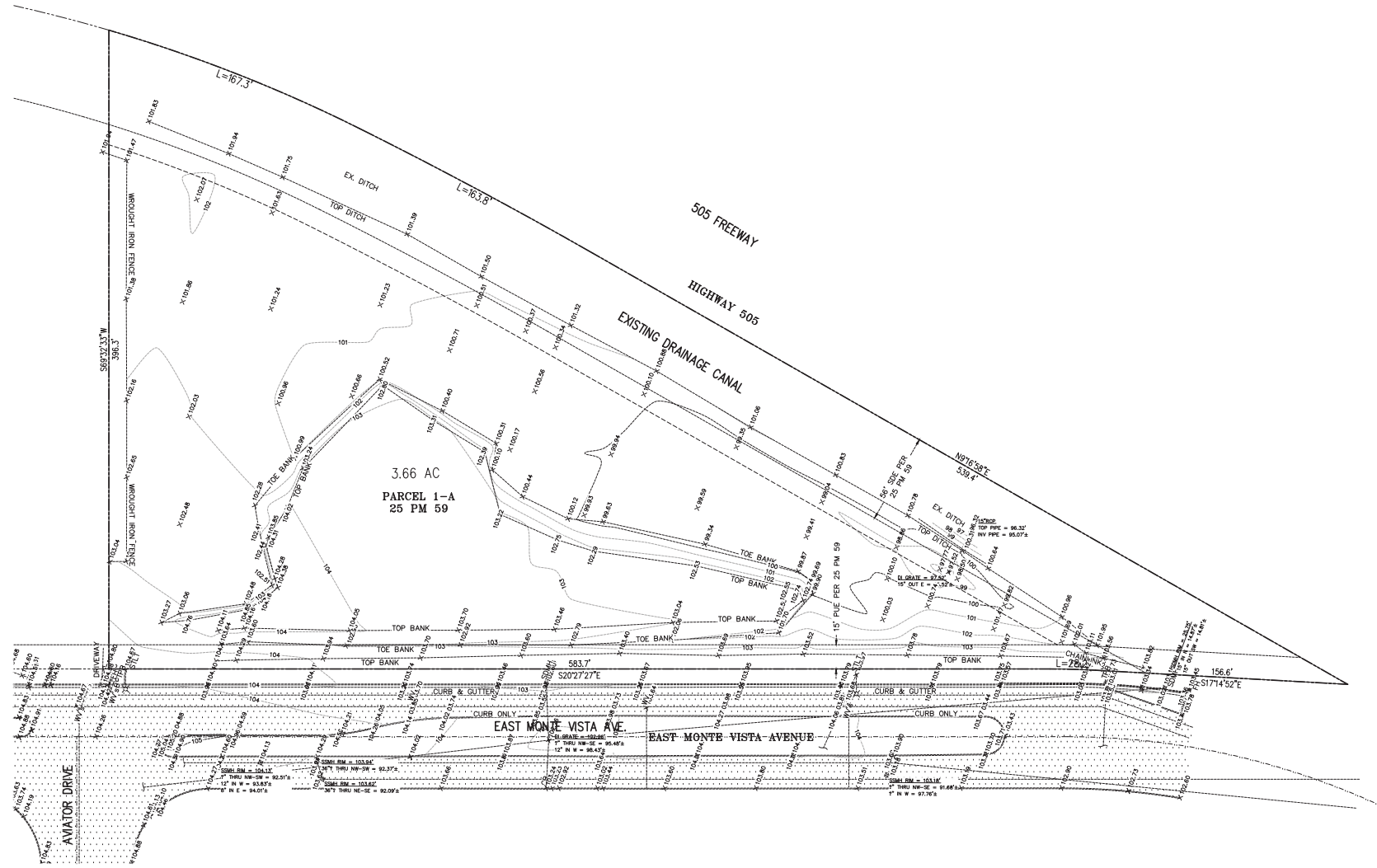
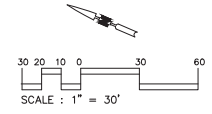
PROJECT NAME/LOCATION: **PROPOSED BUILDING FOR LISTER CONSTRUCTION**
 DRAWING TITLE: **UTILITY PLAN**

NO.	DESCRIPTION	DATE

DRAWING FILE: 20190510

ISSUE DATE: 03-03-2020
 PROJECT NO.: 20190510

SHEET NO.: **C3**
 OF 5



PHILIP ENGINEERING
 1000 UNIVERSITY STREET SUITE 100
 SAN FRANCISCO, CA 94103
 PHONE (415) 441-0000 FAX (415) 441-0000

DESIGNED BY: ETV
 DRAFTED BY: ETV
 CHECKED BY: ETV

PROJECT NAME/LOCATION: **PROPOSED BUILDING FOR LISTER CONSTRUCTION**

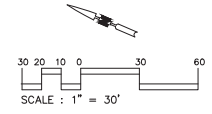
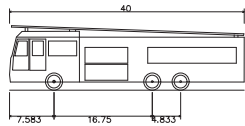
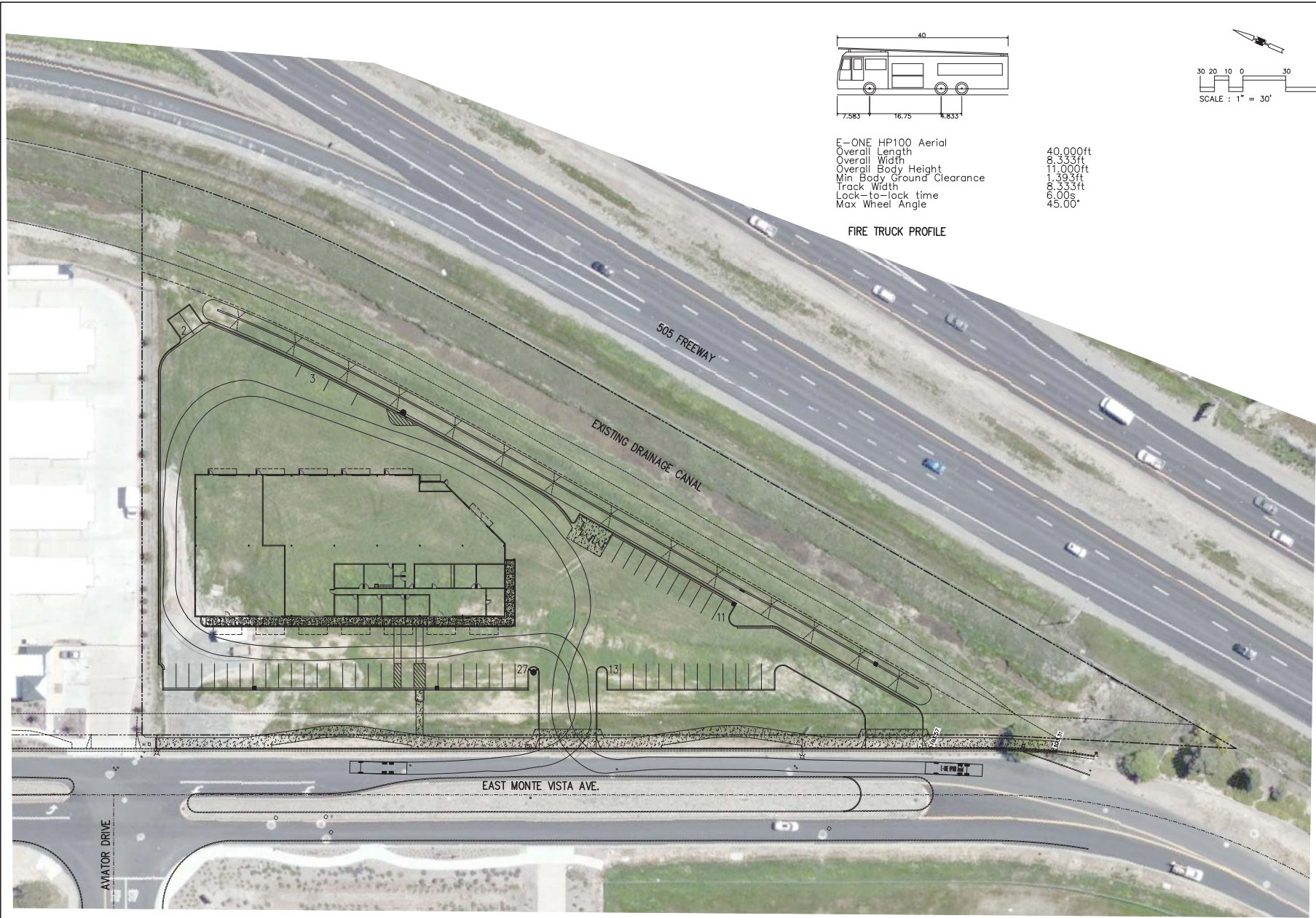
SCALE: **AS SHOWN**

DRAWING TITLE: **TOPOGRAPHIC MAP**

NO.	DESCRIPTION	DATE

DRAWING FILE: 20190510

ISSUE DATE: 03-03-2020
 PROJECT NO.: 20190510
 SHEET NO.: C4
 OF 9



E-ONE HP100 Aerial
 Overall Length 40.000ft
 Overall Width 8.533ft
 Overall Body Height 11.000ft
 Min Body Ground Clearance 1.393ft
 Track Width 8.333ft
 Lock-to-lock time 6.00s
 Max Wheel Angle 45.00°

FIRE TRUCK PROFILE



PHILLIP ENGINEERING
 INC.
 1000 WILSON STREET, SUITE 100
 SAN ANTONIO, TEXAS 78207
 PHONE: (214) 481-8888 FAX: (214) 481-8888
 DESIGNED BY: ETV
 DRAFTED BY: ETV
 CHECKED BY: ETV

PROJECT NAME/LOCATION: **PROPOSED BUILDING FOR LISTER CONSTRUCTION**
 CITY/STATE: **WACO, TEXAS**
 DRAWING TITLE: **CONTEXTUAL MAP/ FIRE TRUCK TURN TEMPLATE**

NO.	REVISIONS	DATE

DRAWING FILE: 20190510

ISSUE DATE: 03-03-2020
 PROJECT NO.: 20190510
 SHEET NO.: C5
 OF 5

PARKING LOT SHADING
(10 YEARS)

TREE	DIA.	AREA 3/4 COVERAGE SQFT.	NUMBER	(75%)	HALF COVERAGE NUMBER	(50%)
FRAXINUS	40 FT	1256	0	0	6	3768
MAGNOLIA	25 FT	481	7	2876	0	0
		SUBTOTAL:		2876 SQFT.	3804 SQFT.	
		TREE TOTAL:		6469 SQFT.		
		PARKING LOT AREA:		8,677 SQFT.		
		PERCENTAGE COVERAGE:		75%		

MAXIMUM APPLIED WATER ALLOWANCE

MAWA = (ETp) (C-AB) (L-A) (0.62)	ETp	ETAF	L-A
389,330 GAL/YEAR =	52.1	0.45	27472 0.62

ESTIMATED TOTAL WATER USE

ETW = ETp X 0.62 X ETAF X AREA

HYDRATIONS BY PLANTING DESCRIPTION	PP	IRRIGATION METHOD	IRRIGATION EFFICIENCY	ETAF (PP/E)	LANDSCAPE AREA	ETp	ETAF X AREA	ETWU
1. FREEWAY PLANTERS	0.3	DRIP	0.81	0.37	12,207	52.1	4,521	148,041
2. STREET SIDE PLANTERS	0.4	DRIP	0.81	0.484	18,090	52.1	7,447	240,547

TOTAL AREA: 27,297 SQFT

ETWU TOTAL: 388,588 GALS.
MAWA TOTAL: 389,330 GALS.

SUGGESTED PLANT LIST

TREES: AVERAGE MATURE HEIGHT SIZE COUNT

	QUERCUS LOBATA VALLEY OAK	60 FT.	15 GAL.	8
	BISTACHIA CHINENSIS CHINESE PISTACHE	40 FT.	15 GAL.	8
	QUERCUS LICOFLUA HOLLY OAK	40 FT.	15 GAL.	14
	LASERSTROEMIA NATCHEZ GRAPE MYRTLE	20 FT.	15 GAL.	8

SUGGESTED SHRUBS AND ACCENTS:

- ARBUS UNEDO COMPACTA
COMPACT STRAWBERRY BUSH
- PRUNUS CAROLINIANA BRIGHT N TIGHT
COMPACT CAROLINA LAUREL
- LASERSTROEMIA DWARF RED
DWARF RED GRAPE MYRTLE
- RHAMNUS CALIFORNICA BAYE CASE
DWARF COFFEE BERRY
- SALVIA TREES BUSH
CRESPING BAGE
- PENNISTEMUM ALOPECUROIDES
DWARF FOUNTAIN GRASS
- ERIOLOBIUM CANUM
CALIFORNIA FUCHSIA

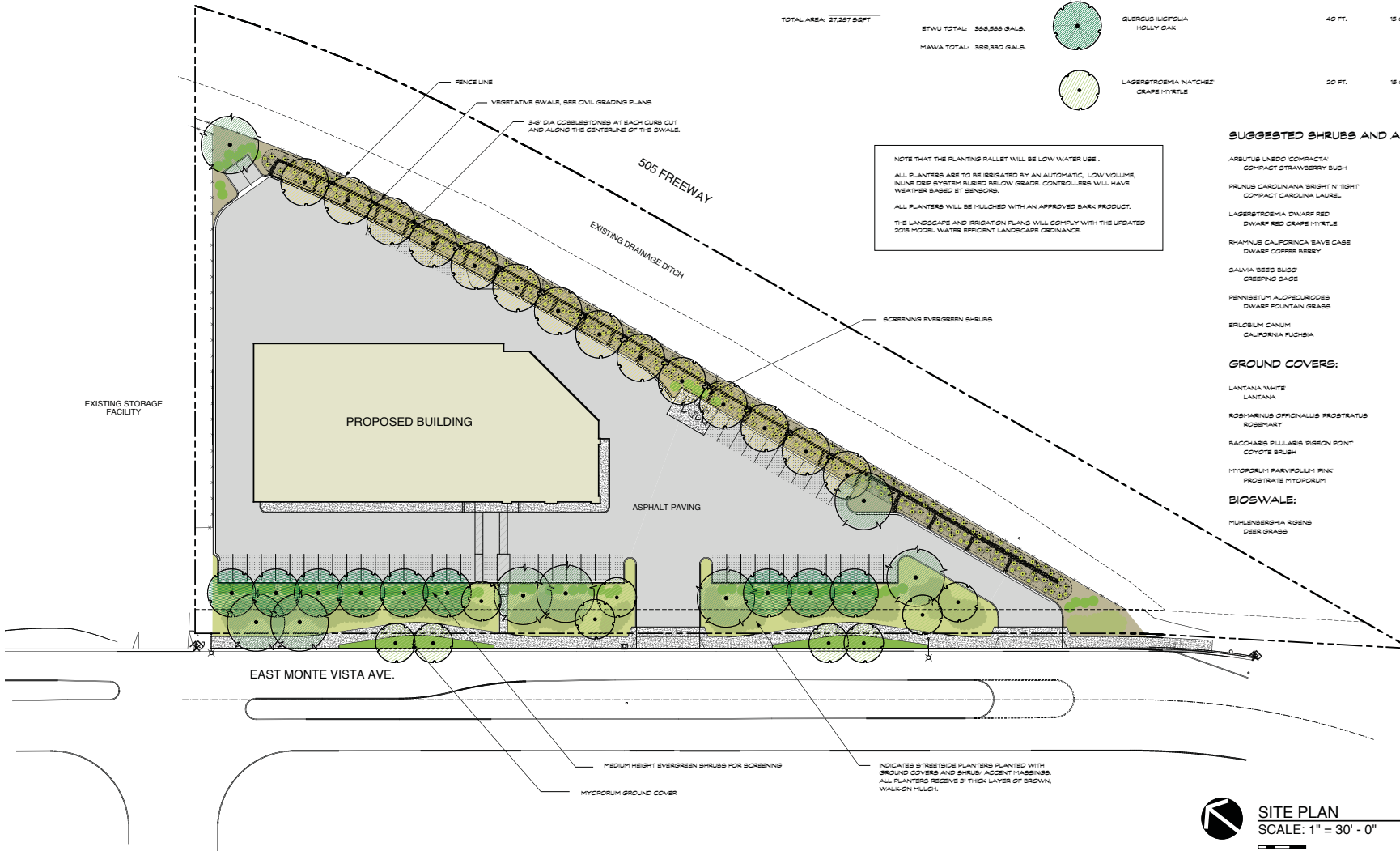
GROUND COVERS:

- LANTANA WHITE
LANTANA
- ROSMARINUS OFFICINALIS PROSTRATUS
ROSEMARY
- BACCHARIS PILLULARIS PIGEON POINT
COYOTE BUSH
- HYPOPORUM PAEVIPODUM PINK
PROSTRATE HYPOPORUM

BIOSWALE:

- MULLENBERGHIA RIGENS
DEER GRASS

NOTE THAT THE PLANTING PALETTE WILL BE LOW WATER USE.
ALL PLANTERS ARE TO BE IRRIGATED BY AN AUTOMATIC, LOW VOLUME, INLINE DRIP SYSTEM BURIED BELOW GRADE. CONTROLLERS WILL HAVE WEATHER BASED ET SENSORS.
ALL PLANTERS WILL BE MULCHED WITH AN APPROVED BARK PRODUCT.
THE LANDSCAPE AND IRRIGATION PLANS WILL COMPLY WITH THE UPDATED 2015 MODEL WATER EFFICIENT LANDSCAPE ORDINANCE.



SITE PLAN
SCALE: 1" = 30' - 0"
0' 5' 10' 20' 30'

JAMES FERGUSON CLABAUGH
LANDSCAPE ARCHITECT
4156 SHAWN LANE
VACAVILLE, CA 95688
PHONE: 707-674-8907
jfergus@jfcg-global.net

These drawings are the instrument of the service and shall not be used for any other project, for any work not specifically contracted with James Ferguson Landscape Architects. Copyright 2020



LISTER CONSTRUCTION

VACAVILLE, CA

Scale	1" = 30'-0"	REVISIONS
Date	04/20	No. Date
Des. No.	J.C.	
Drawn by	J.C.	

PRELIMINARY LANDSCAPE PLAN

Sheet No.

L1
of 1

AIRPORT LAND USE COMMISSION
APPLICATION SUBMITTAL ITEMS

ITEM I

ELEVATION HEIGHT &
OPEN LANDS ANALYSIS



CONSULTANTS

APPROVALS

PLANNING SUBMITTAL

PROJECT

PROPOSED BUILDING FOR:
LISTER CONSTRUCTION

2300 E. MONTE VISTA AVE.
VACAVILLE, CA
95687

ISSUE

DESCRIPTION	DATE	MARK
		1
		2
		3

PROJECT NO: 18025
DATE: 03/03/20

DRAWN BY: J.E.R. - L.J.K.
CHECKED BY: R.L.H.

SHEET TITLE

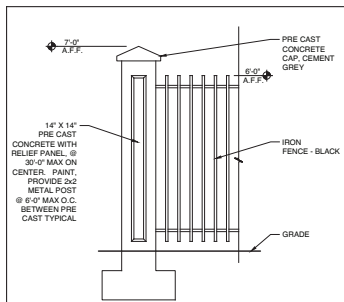
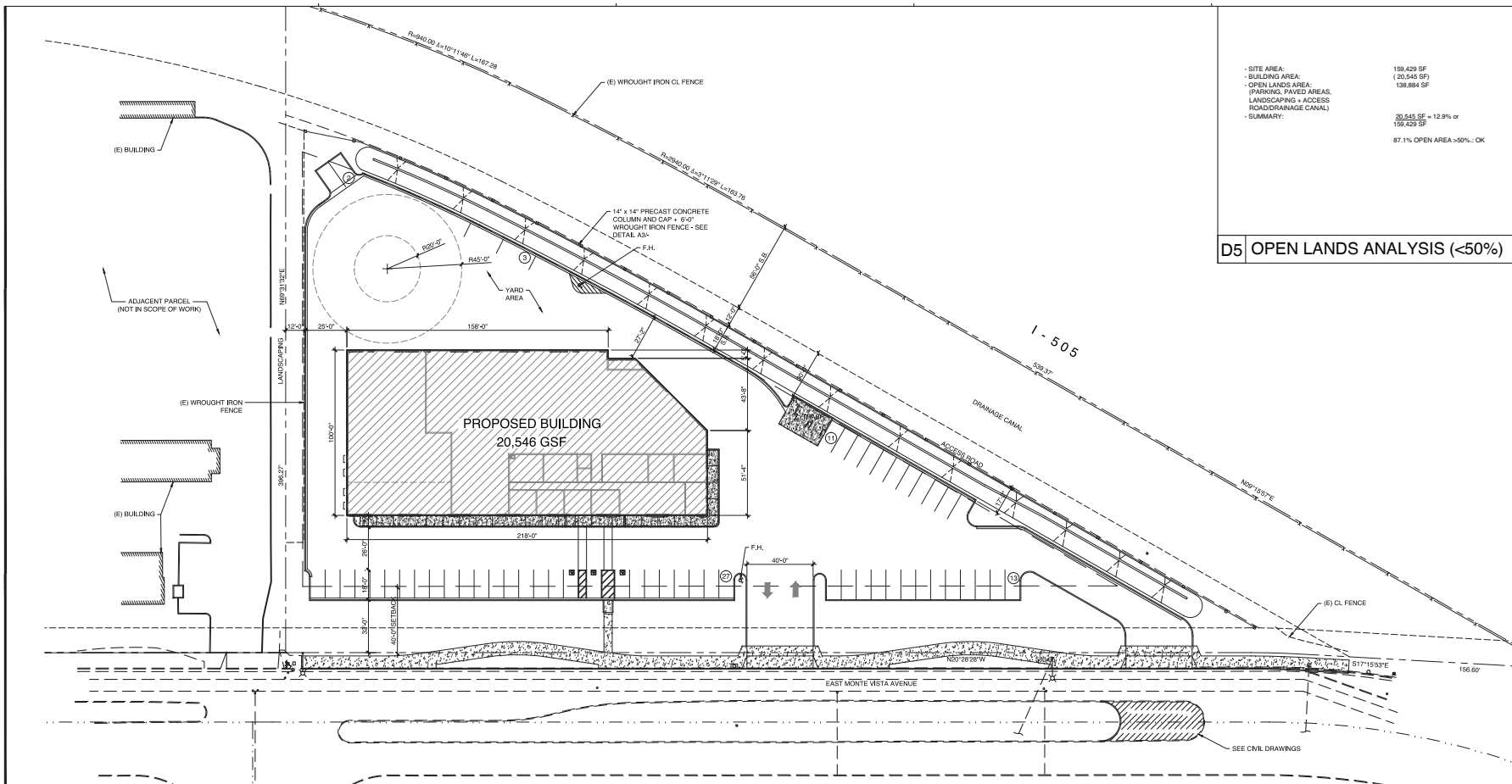
SITE PLAN

SHEET NO

A101

- SITE AREA: 159,429 SF
- OPEN LANDS AREA: (20,546 SF) 138,884 SF
- OPEN LANDS AREA: (PARKING, PAVED AREAS, LANDSCAPING + ACCESS, ROAD, DRAINAGE CANAL)
- SUMMARY: 20,546 SF = 12.9% of 159,429 SF
87.1% OPEN AREA > 50% : OK

D5 OPEN LANDS ANALYSIS (<50%)



A3 FENCE ELEVATION
1/2" = 1'-0"

- APN: 0133-380-010
- SITE AREA: 159,429 SF (3.66 ACRES)
- ZONING: IP
- GENERAL PLAN: CH
- USE: CH
- BUILDING AREA: 20,546 SF
- BUILDING HEIGHT: 13% ACTUAL
- FLOOR AREA RATIO: 0.30 x 159,429 = 47,829 SF (ALLOWABLE)
13% ACTUAL

- PARKING:
20% OFFICE (0.20 x 5,420) = 1,084 SF/250 = 4
80% WAREHOUSE = 4,355 SF/500 = 9
13 REQUIRED

A4 LISTER DEVELOPMENT STATS

- APN: 0133-380-010
- SITE AREA: 159,429 SF (3.66 ACRES)
- ZONING: IP
- GENERAL PLAN: CH
- USE: CH
- AMBROSE SOLAR AREA: 20,545 - 5,420 SF = 15,125
- BUILDING HEIGHT: 13% ACTUAL
- FLOOR AREA RATIO: 0.30 x 159,429 = 47,829 SF (ALLOWABLE)
13% ACTUAL

- PARKING:
33% OFFICE (0.33 x 15,125) = 4,991 SF/250 = 20
67% WAREHOUSE (0.67 x 15,125) = 10,134 SF/500 = 20
40 REQUIRED

TOTAL PARKING REQUIRED: 53
TOTAL PARKING PROVIDED: 53

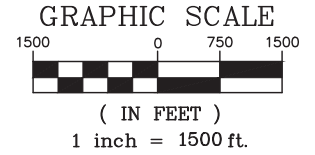
A5 AMBROSE SOLAR STATS

A1 SITE PLAN
1" = 30'-0"

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE THE SOLE PROPERTY OF A2R ARCHITECTS INC. ANY USE WITHOUT WRITTEN CONSENT IS PROHIBITED.

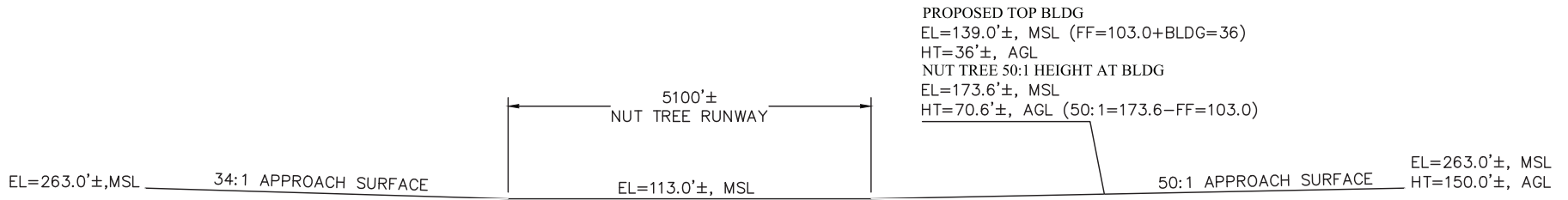


SCALE
1" = 1500'



PHILLIPPI ENGINEERING
 CIVIL ENGINEERING - LAND SURVEYING
 AIRPORT STREET
 P.O. BOX 6549
 VACAVILLE, CA 95666
 OFFICE (707) 451-6556
 FAX (707) 451-6555

PEI



AIRPORT BUILDING HEIGHT RESTRICTION SECTION

ISSUE DATE:	04/06/2020
PROJECT NO.:	20190510
DWG FILENAME:	20190510 Fit res
DESIGNED BY:	SWT
DRAFTED BY:	SWT
CHECKED BY:	SWT

PROJECT NAME/LOCATION:
**NUT TREE AIRPORT
 FLIGHT RESTRICTION EXHIBIT**

AIRPORT LAND USE COMMISSION

APPLICATION SUBMITTAL ITEMS

ITEMS J,K

PROJECT DESCRIPTION
ALSO INCLUDED ON APPLICATION FORM

A Building for: Lister Construction

Project Description:

The project/property in question is located on E. Monte Vista Ave near Aviator Drive. The property is contiguous to the Storage Facility to the north. The site is relatively flat with a light slope from the SW to the NE corner. A drainage canal parallels the I-505 frontage -see the civil drawings.

The site is approximately 3.66 acres and is triangular in shape and fronts on E. Monte Vista Ave. The proposed building is 20,500 GSF and will have one major tenant, Ambrose Solar (15,125 SF) and the balance will be Lister Construction (5,420 SF). Ambrose Solar has a retail/sales aspect; some space in the plans is designated for display for the solar panels/systems that they sale/install. Lister Construction will have an equipment rental aspect to their business related to the construction industry.

- Ambrose Solar spaces include: Lobby, Offices, Conference space, Break room and Warehouse.
 1. Use: Offices, Product Display and warehouse for the contracting operations and storage.
 2. Number of Employees, total: 40 +/-
 3. Hours of Operation: 7am-6pm, M-F
 4. Storage: Warehouse space and Company Vehicles

- Lister Construction spaces include: 1,190 SF of offices and the balance as warehouse.
 1. Use: Construction Company: Office, Warehouse and Equip Rental
 2. Number of Employees: 5
 3. Hours of Operation: 7am -4pm, M-F
 4. Storage: Warehouse space, Company Vehicles and Equipment Rental

Airport Land Use Commission:

- The following information addresses items I, J, L, N, O and Q of the ALUC submission check list:
 1. Item I: Our civil engineer has complete the required cross-section - see the submittal additional drawing. See plan/sections located in the architectural drawings.

2. Item J: The Golden Hills Policy Plan designates the property in question as IP and our project is consistent with this zoning/use in the GH policy plan.
See drawing A101 - Site Plan. We have added the Open Lands Analysis indicates 12.9% lot coverage, which is well below 50% maximum allowable. Maximum persons per acres is 12.29 (45 occupants/ 3.66 acres = 12.29).
We do not anticipate any use, function or material relating to this project that would interfere with aircraft flight or communications relating to flight/flying. The project will be equipped with typical parking and building exterior lighting fixtures.
3. Item L: See drawing A101 - Site Plan. We have added the Open Lands Analysis indicates 12.9% lot coverage, which is well below 50% maximum allowable. Maximum persons per acres is 12.29 (45 occupants (see pg/ 1), max at anyone time / 3.66 acres = 12.29 persons).
4. Item N: See letter dated 4/6/20 to Albert Enault, Associate Planner.
5. Item O: FAA Review through the FAA Part 77:
 01. Yes, a design review application has been submitted for the project and with that, property owners will be notified about the proposed project.
 02. To my knowledge, no supporting documents have been submitted to the FAA.
 03. None known to the applicant.
 04. None known to the applicant.
 05. None known to the applicant.
 06. None known to the applicant.
 07. None known to the applicant.
 08. None known to the applicant.
6. Item Q: Filing fee: A check for \$200 has been mailed to the Solano County Planning.

EXTERIOR:

- Basic Structure: Concrete tilt-up with vertical and horizontal reveals. Most of the buildings height is 30'-6" AFF with a portion at the Ambrose Solar location elevated to +36'-0" AFF.

A cornice is located at the top of the parapet and surrounds the building. A sloping shed standing seam metal roof is located along the E. Monte Vista Ave. elevation and is supported with concrete columns and steel posts. Square and high windows are placed around the building to help break up the exterior mass of the building and to allow natural light into the warehouse space.

Aluminum canopies at the roll-up doors are located at doors facing I-505.

TENTATIVE PROJECT SCHEDULE:

- Planning: 3/6/20 to 5/6/20
- Construction drawings: 3/13/20 to 5/13/20
- Grading of the Site: 5/15/20 to 6/15/20
- Plan checking: 5/14/20 to 7/14/20
- Start Construction: 8/1/20
- Complete Construction: 4/1/21

AIRPORT LAND USE COMMISSION
APPLICATION SUBMITTAL ITEMS

ITEM L

SEE PROJECT DESCRIPTION
WITH ITEMS J-K

AIRPORT LAND USE COMMISSION
APPLICATION SUBMITTAL ITEMS

ITEM M

NOT APPLICABLE

AIRPORT LAND USE COMMISSION
APPLICATION SUBMITTAL ITEMS

ITEM N

INFORMATION CONTENT

April 6, 2020

Albert Enault
Associate Planner
City of Vacaville
650 Merchant Street
Vacaville, CA 95687

Re: Lister Construction - Design Review Application
Subject: ALUC. Item N. Response

Albert:

As required, I have assembled this letter to address Item N of the Solano County Airport Land Use Commission checklist. I have address these issues as follows:

1. The Proposed Project is not located within 1,000 feet of a military installation. TAFB is approximately 6 miles away from the project site.
2. Beneath a low-level flight path: See the attached exhibit. The project meets the required clearances of flight path to building height (36'), which is consistent with the Golden Hills PP.
3. Is the project within special use airspace as defined in Section 21098 of the Public Resources Code?: The project is not within a special use airspace for training, research, development or evaluation for a military service.
4. Within an urbanized area as defined in Government Code Section 65944?: Yes, the project is within an urbanized zone and is in the city limits of the City of Vacaville.
The proposed project does not involve/require an adoption or amendment of the general plan.

I am hoping that this letter addresses the requirements of Solano County Airport Land Use Commission checklist, item N. Should you have any questions or concerns, please call me to discuss at any time.

Sincerely,

A handwritten signature in blue ink, appearing to read "R. Henley", is placed on a light blue rectangular background.

Robert L. Henley, AIA
Principal | LEED AP

Attachment: Project Description

CC: Client & File, Agencies.

AIRPORT LAND USE COMMISSION
APPLICATION SUBMITTAL ITEMS

ITEM O

FCC REFERRAL
NOT APPLICABLE

AIRPORT LAND USE COMMISSION
APPLICATION SUBMITTAL ITEMS

ITEM P

AVAILABLE UPON REQUEST BY
THE DEPARTMENT OF
RESOURCE MANAGEMENT
SOLANO COUNTY

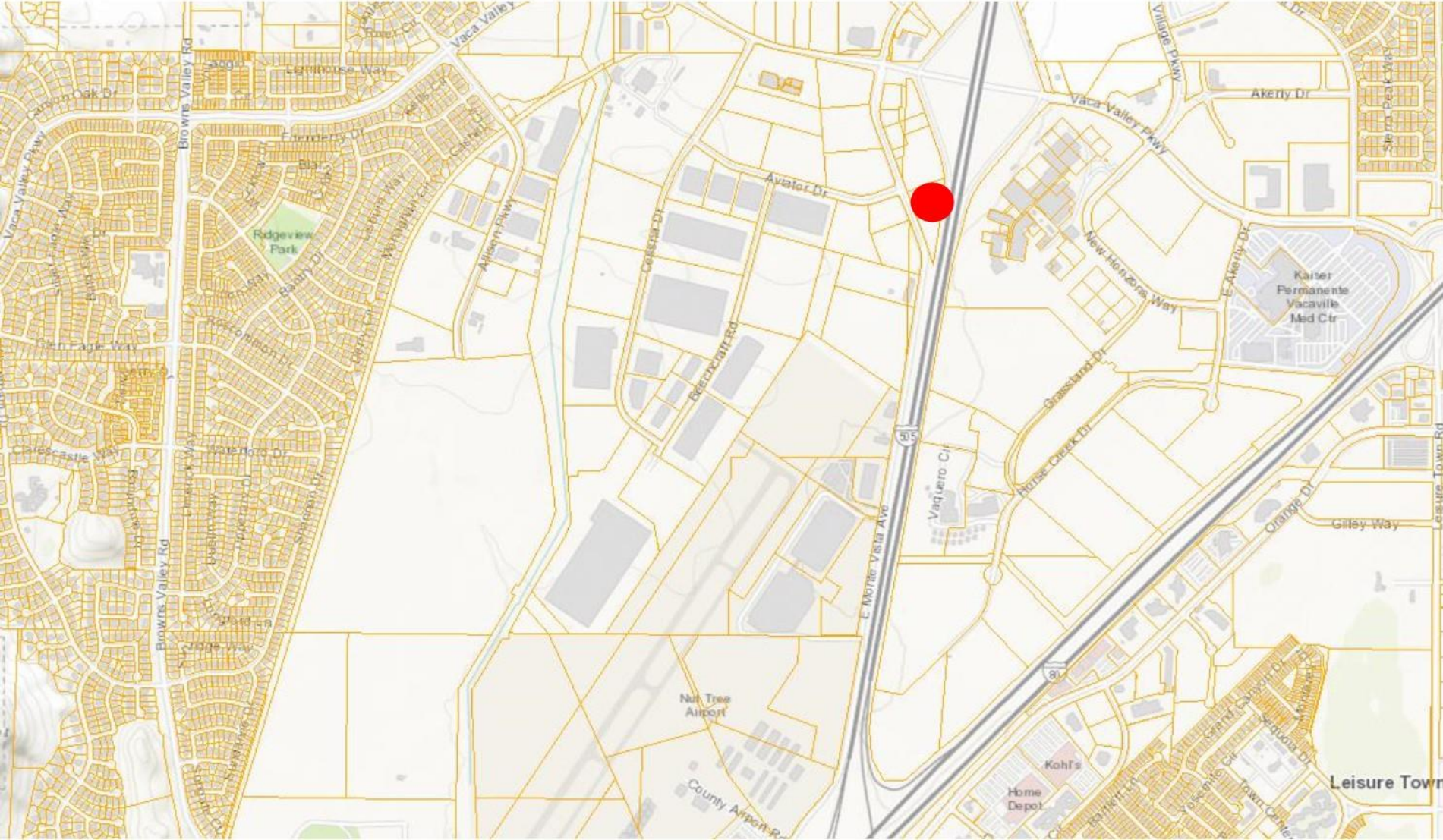
AIRPORT LAND USE COMMISSION
APPLICATION SUBMITTAL ITEMS

ITEM Q

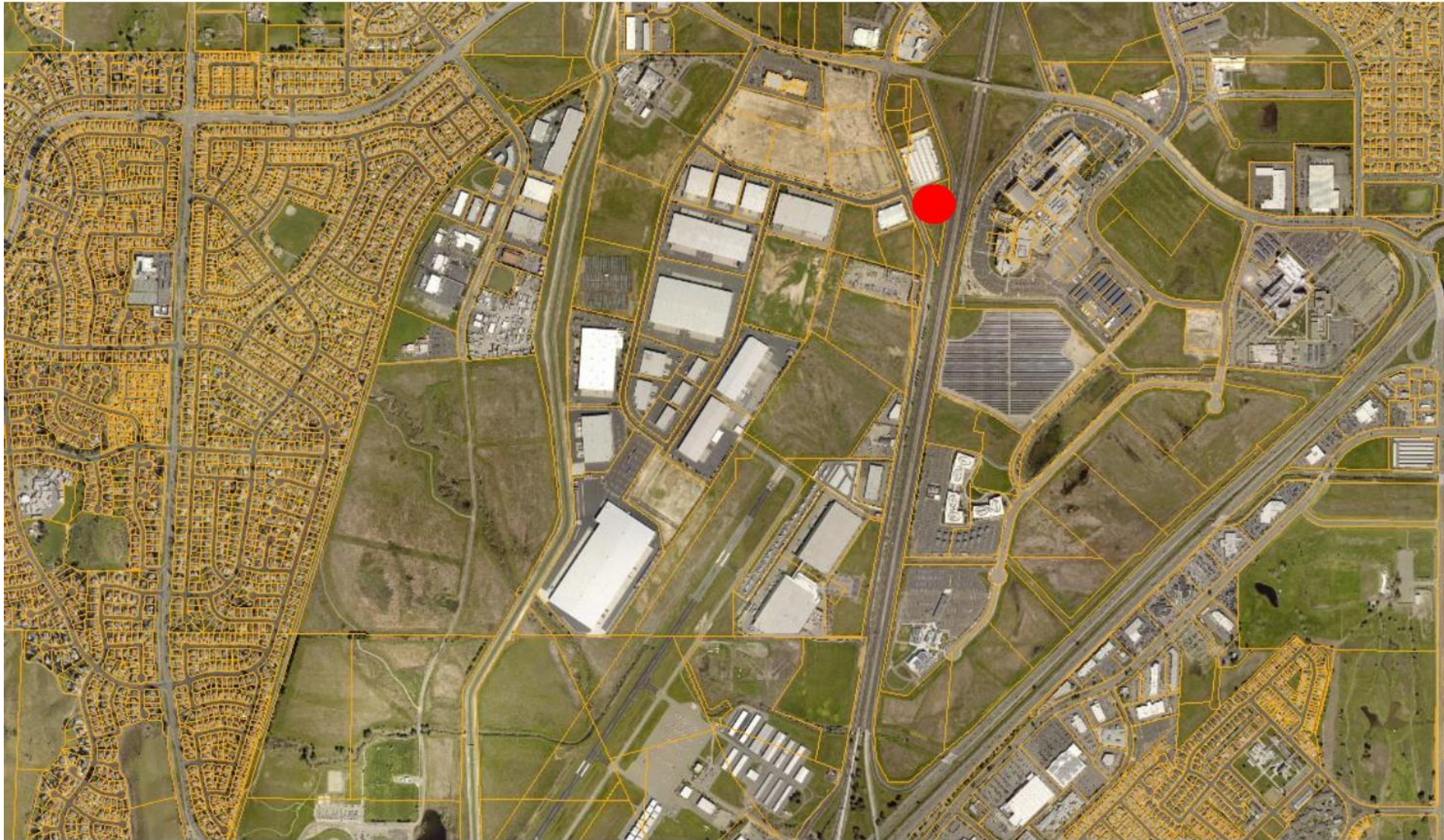
APPLICATION FEE (\$200.00)

INCLUDED WITH APPLICATION FORM

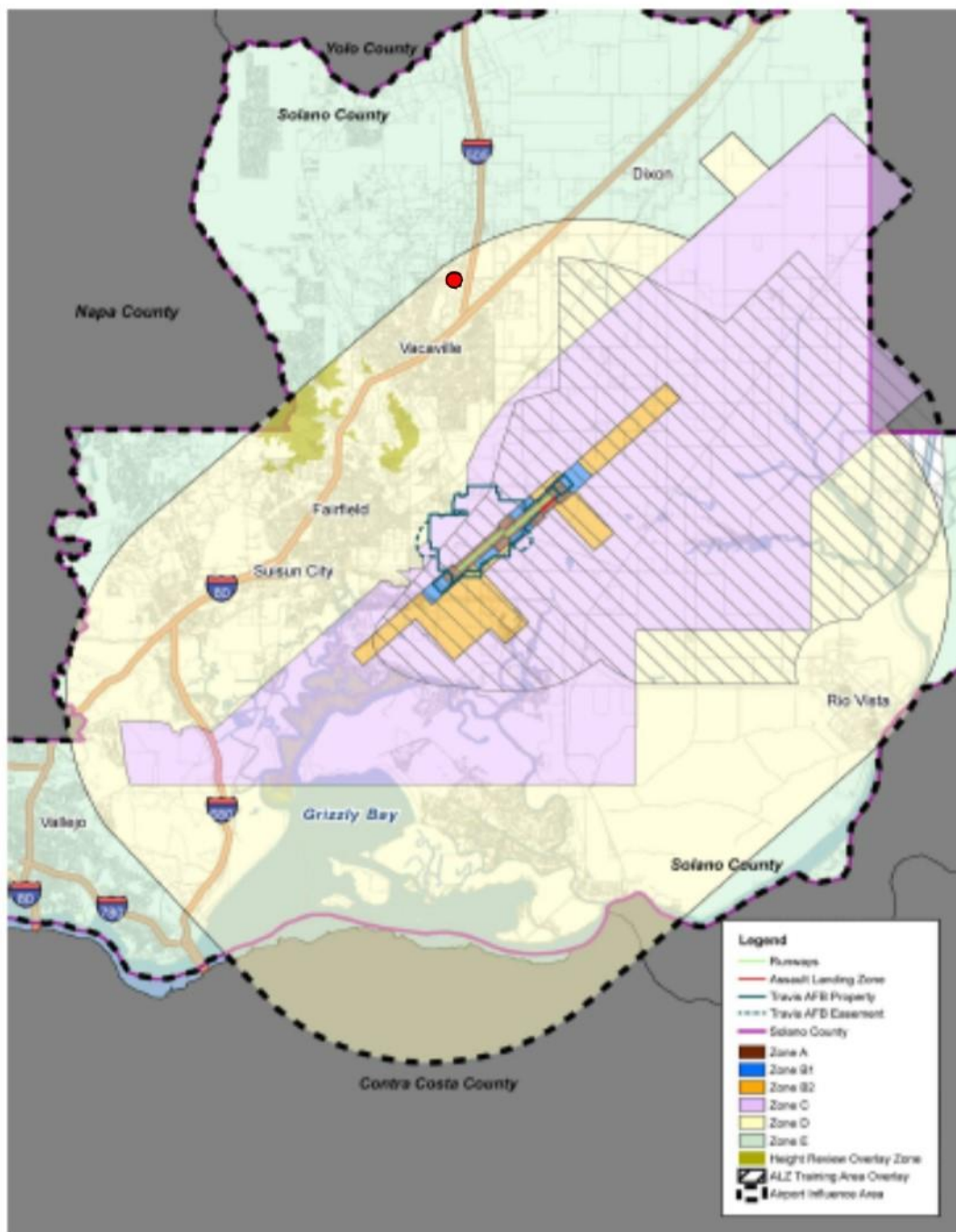
Vicinity Map



Aerial Map



Travis AFB LUCP Context Map



Nut Tree Airport LUCP Context Map



Attachment E1: Close-Up Nut Tree Context



ITEM E - LOCATION MAP			LISTER COMMERCIAL BUILDING	
 PROJECT SITE  COMPATIBILITY ZONES			SOUTHEAST CORNER OF EAST MONTE VISTA AVENUE AND AVIATOR DRIVE <small>FILE NO. 202008 APN 0133-380-010</small>	



September 1, 2020

A2R Architects
190 S. Orchard Ave. Suite C250
Vacaville, CA 95688
707-453-0196
Email: rob.h@a2rarch.com

Project: Lister Construction Building
Subject: Analysis of Open Land Requirement

Dear Mr. Henley:

We understand that A2R Architects is designing a 20,500-square-foot building north of the Nut Tree Airport on E. Monte Vista Ave near Aviator Drive. The project site is 3.66 acres and is triangular in shape. The building's majority tenant (15,125 SF) will be Ambrose Solar. The remainder of the building (5,420 SF) will be occupied by Lister Construction. Due to the site's proximity to the Nut Tree Airport, the project will need to comply with the Solano County Airport Land Use Compatibility Plan (ALUCP).

As requested, Mead & Hunt, Inc. (Mead & Hunt) is providing an analysis of the ALUCP's Open Land Requirement and whether the proposed project would meet those requirements. Other airport land use compatibility factors addressed by the ALUCP (e.g., noise, safety, overflight, and airspace protection) are not included in our analysis.

The ALUCP for the Nut Tree Airport (May 1988) designates six zones (A – F) with varying land use compatibility restrictions for the areas surrounding the Nut Tree Airport. The proposed project lies within the "B" Zone, also referred to as the "Inner Approach/Departure Zone." The ALUCP requires 50% of Zone B to remain as open land.

Note 3 for the Compatibility Criteria Table states the following:

The indicated percentage of gross area (total area in zone, including airport property except in zone A) would remain free of structures and other major obstacles. To be considered open land the area must be sufficiently large and unobstructed to enable an aircraft to make an emergency landing with a high probability of no serious injuries to the occupants of the aircraft or major damage to structures on the ground. Substantial damage to the aircraft may occur. Spaces as small as approximately 100 feet by 300 feet or 75 feet by 400 feet are considered adequate, although larger areas are desirable. Roads and adjacent landscaping qualify if they are wide enough and not obstructed by large trees, signs, or poles. These areas should be oriented as closely as practical to the common direction aircraft flight over the area....

The City of Vacaville has prepared the two attached graphics depicting the remaining open land within Zone B should the proposed project be developed. One graphic shows the open land remaining within the northern portion of Zone B where the proposed project is located, while the second graphic shows the remaining open land within the entirety of Zone B (north and south portions of Zone B). The ALUCP isn't clear if the 50% open land requirement applies to each of the two B Zones separately, or as one whole zone. However, in either case, the open land remaining after development of the proposed project would remain above 50%.

- The portion of open land remaining available in only the northern Zone B is 53%
- The portion of open land remaining available in both the northern and southern Zone B is 60%

As a practical matter, we would recommend that the open land be calculated and met for each end separately. Aircraft operating north of the airport may not have the option to reach the southern open area (and vice versa) in the event of an emergency landing.

In the open land graphics prepared by the City of Vacaville, two narrow strips of open land are included to the north and east of the proposed project site. These don't appear to meet the minimum sizes specified in the ALUCP (100'x300' or 75'x400'). We recommend the City revise the graphic if necessary and recalculate the total open space percentage if appropriate.

It appears that the City excluded a portion of the Interstate 505 right-of-way as suitable landing space due to the presence of a freeway overpass that would potentially interfere with an aircraft making an emergency landing. It appears that portions of the excluded area would meet the minimum size requirements. Regardless, if those areas were included, they would only serve to increase the available open land in the Zone.

Based on our review of the ALUCP open land requirement, the exhibits prepared by the city, and the assumption that any revision to the small areas of open land designation on the north and east of the proposed project site would not substantially change the overall open land percentage, it is Mead & Hunt's professional opinion that the required open land for Zone B would be achieved based on existing open land areas within the zone.

Mead & Hunt was not asked to evaluate the project with respect to other compatibility factors: safety, airspace, overflight, and noise. Nonetheless, no obvious concerns were apparent to us.

Sincerely,

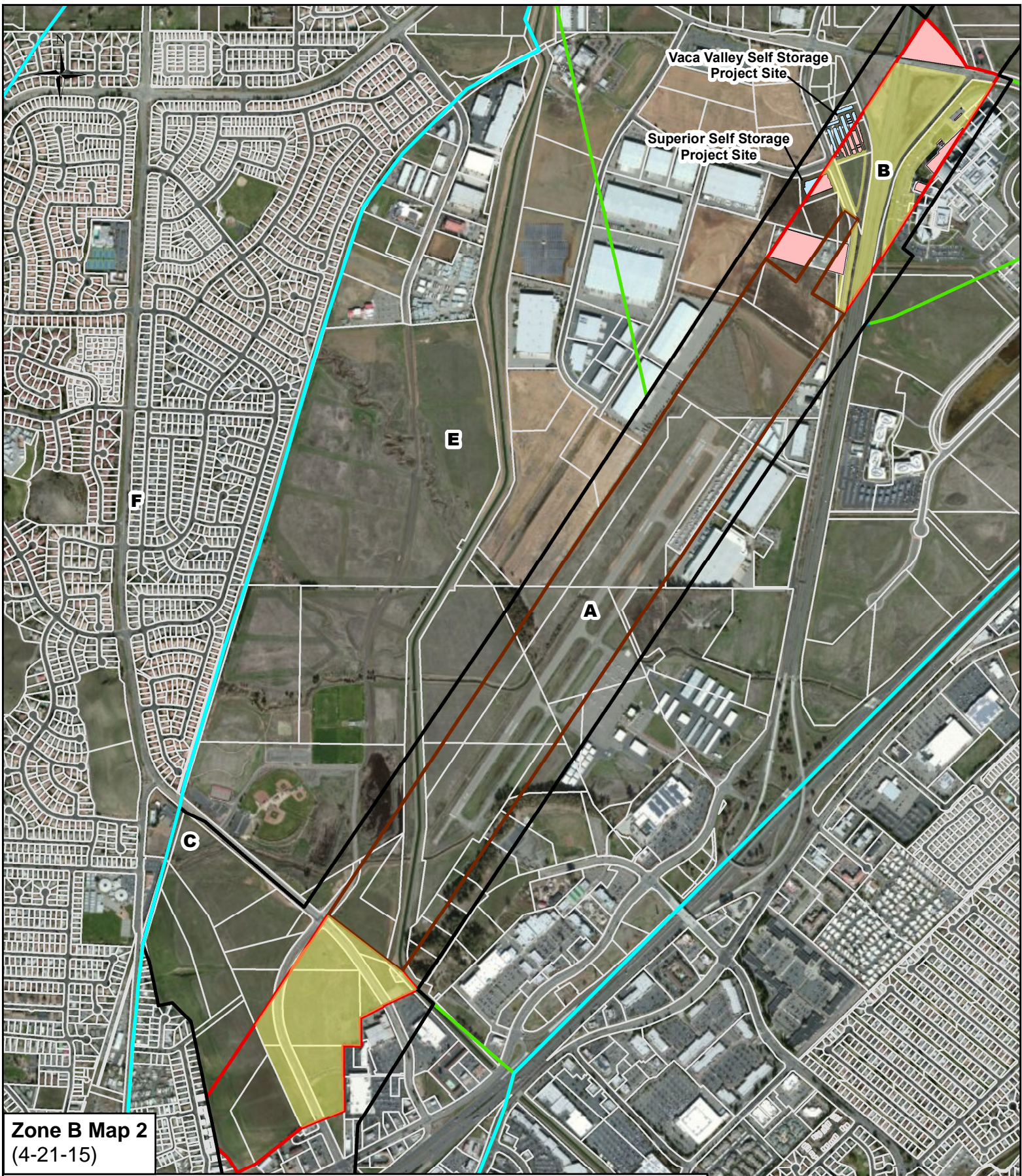
MEAD & HUNT, Inc.



Corbett Smith, C.M.
Aviation Planner

Attachment: Zone B Map 1 & 2





Zone B Map 2
(4-21-15)

Airport Land Use Zones

- Zone A - Clear Zone or Primary Surface
- Zone B - Inner Approach/Departure Zone
- Zone C - Outer Approach/Departure Zone or Adjacent Runway
- Zone D - Extended Approach/Departure Zone
- Zone E - Adjacent to Runway or Final Approach
- Zone F - Other Airport Environs

- Structures Outside of Area B
- 8.7% of Area B - Structures
- 60.4% Suitable Landing Space

Map data provided by Esri, DeLorme, USGS, AEX, Getmapping, and the GIS User Community

PROPOSED LOT SCHEDULE

NO.	AREA	USE	AREA	USE	AREA	USE
1	10,000	RESIDENTIAL	10,000	RESIDENTIAL	10,000	RESIDENTIAL
2	5,000	RESIDENTIAL	5,000	RESIDENTIAL	5,000	RESIDENTIAL
3	2,500	RESIDENTIAL	2,500	RESIDENTIAL	2,500	RESIDENTIAL

MAXIMUM APPLIED WATER ALLOWANCE

TYPE OF PLANTING	PER 100 SQ. FT.	PER 1000 SQ. FT.	PER ACRE
GRASS	1.0	100.0	10,000.0
SPRING FLORALS	0.5	50.0	5,000.0
PERENNIALS	0.2	20.0	2,000.0
ANNUALS	0.1	10.0	1,000.0
TOTAL	1.8	180.0	18,000.0

ESTIMATED TOTAL WATER USE

PLANTING TYPE	PER 100 SQ. FT.	PER 1000 SQ. FT.	PER ACRE
GRASS	1.0	100.0	10,000.0
SPRING FLORALS	0.5	50.0	5,000.0
PERENNIALS	0.2	20.0	2,000.0
ANNUALS	0.1	10.0	1,000.0
TOTAL	1.8	180.0	18,000.0

SUGGESTED PLANT LIST

TREES:

PLANT NAME	APPROX. HEIGHT	SIZE	COUNT
FRAXINUS VIRGINIANA	20 FT.	12 IN.	1
QUERCUS LAEVIS	20 FT.	12 IN.	1
FRAXINUS VIRGINIANA	15 FT.	8 IN.	1
QUERCUS LAEVIS	15 FT.	8 IN.	1

SUGGESTED SHRUBS AND ACCENTS:

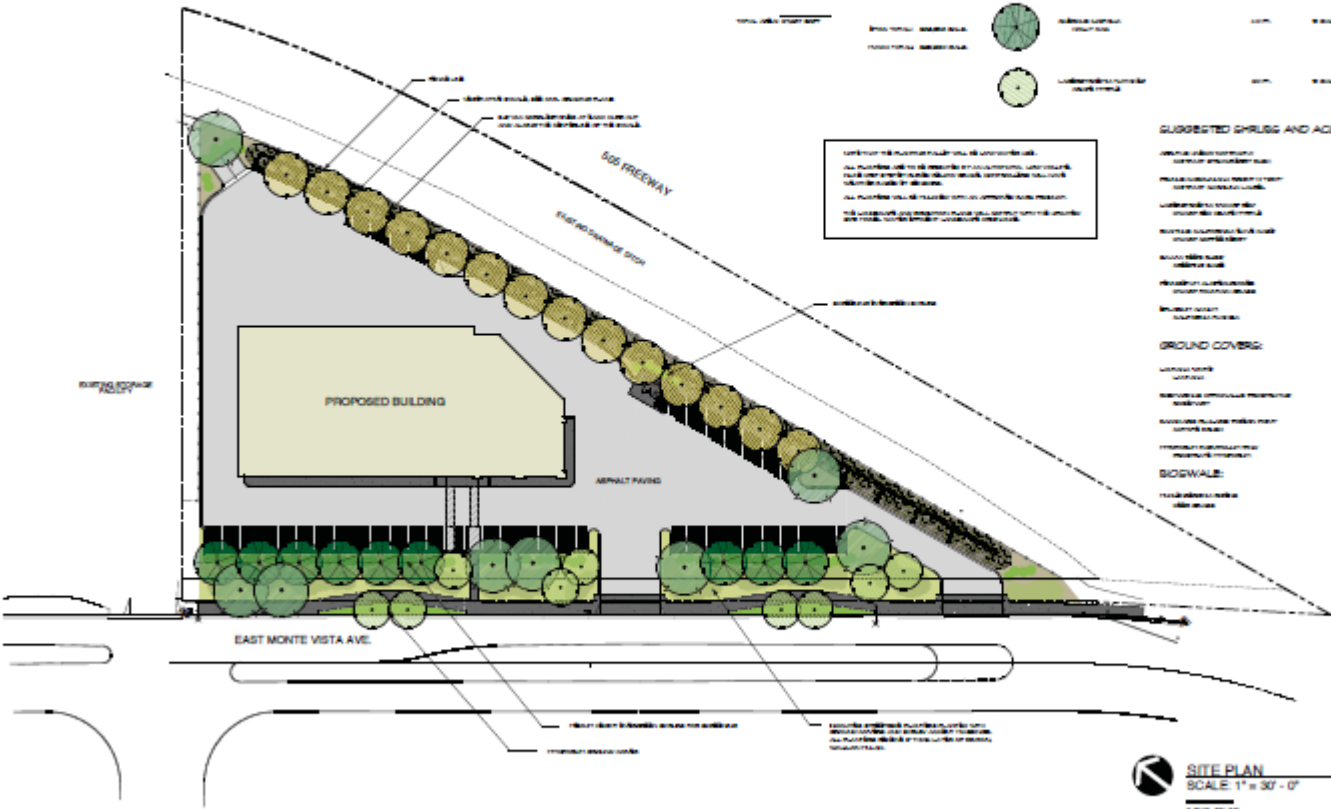
- FRAXINUS VIRGINIANA
- QUERCUS LAEVIS
- FRAXINUS VIRGINIANA
- QUERCUS LAEVIS
- FRAXINUS VIRGINIANA
- QUERCUS LAEVIS
- FRAXINUS VIRGINIANA
- QUERCUS LAEVIS
- FRAXINUS VIRGINIANA
- QUERCUS LAEVIS

GROUND COVER:

- FRAXINUS VIRGINIANA
- QUERCUS LAEVIS
- FRAXINUS VIRGINIANA
- QUERCUS LAEVIS

BIGWALLS:

- FRAXINUS VIRGINIANA
- QUERCUS LAEVIS



JAMES FERGLISON CLABALICH ARCHITECT

10000 N. 100TH AVE. SUITE 1000
DUBLIN, CA 94568
TEL: 925.885.1111
WWW.JAMESFERGLISONARCHITECT.COM

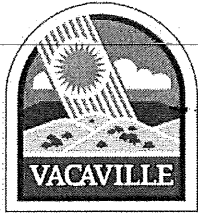
LISTER CONSTRUCTION

DATE: 01/10/2010

PRELIMINARY LANDSCAPE PLAN

L1

4/1



ESTABLISHED 1850

CITY OF VACAVILLE

650 MERCHANT STREET
VACAVILLE, CALIFORNIA 95688-6908
www.cityofvacaville.com

LEN AUGUSTINE
Mayor

CURTIS HUNT
Vice Mayor

DILENNA HARRIS
Councilmember

MITCH MASHBURN
Councilmember

RON ROWLETT
Councilmember

May 4, 2015

Community Development Department
Planning Division

Mr. Jim Leland
Solano County Resource Management Department
675 Texas Street
Fairfield, CA 94533

**SUBJECT: COMPLIANCE WITH ALUC CONDITIONS OF CONSISTENCY FOR
SUPERIOR SELF STORAGE AND VACA VALLEY SELF STORAGE**

Dear Jim:

The purpose of this letter is to follow-up on our April 31, 2015 meeting with Commissioners Seiden and Randall (ALUC Subcommittee) regarding the Superior Self Storage and Vaca Valley Self Storage projects in Vacaville.

On April 9, 2015 the ALUC found both projects to be consistent with the Airport Land Use Plan subject to three conditions of approval, related to: (1) Open Space Plan; (2) adoption of the Open Space Plan by the City of Vacaville; and (3) an Avigation Easement and Height Limit Easement.

City of Vacaville Planning staff prepared two exhibits identifying the suitable open land areas for Zone B north near the project sites and Zone B south. During the meeting we discussed both project sites and determined that suitable open land areas were present around the project sites, in particular East Monte Vista Avenue and Interstate 505 including the freeway itself, its on ramp and off ramps areas. At the conclusion of the meeting, Commissioners Seiden and Randall determined that suitable open land areas were present for emergency landing purposes, and found that the projects had complied with that particular condition of approval.

Here are the City's responses to the ALUC conditions of approval:

1. ALUC Condition: The applicant shall submit an Open Space Plan to the Airport Land Use Commission, or an ad-hoc committee of the Commission as determined by the Chair, for a determination that the Open Space Plan meets the standards incorporated into the 1988 Nut Tree Airport Land Use Compatibility Plan.

On behalf of the applicants, City staff prepared an Open Space Plan consisting of two exhibits (attached). The ad-hoc committee of the ALUC (Commissioners Seiden and Randall) determined the exhibits complied with this condition.

2. The Open Space Plan is adopted by the City of Vacaville.

The City of Vacaville will include the exhibits as conditions of approval for both self storage projects.

3. The applicant provides an avigation easement and a height limit easement for the proposed project.

All projects approved in the City of Vacaville are subject to the City's Standard Conditions of Approval, which include the following language:

Avigation Easements and Associated Requirements

1. *An avigation easement, in a form acceptable to the Community Development Director, shall be dedicated prior to the issuance of any building permits. The easement shall provide for the right of aircraft overflight and related noises, and for the regulation of light emissions, electrical emissions, or the release of substances such as steam or smoke that could interfere with aircraft operations. The easement shall be in accordance with the Nut Tree Airport Compatibility District.*
2. *Developer shall comply with Federal Aviation Administration Part 77 regulations per FAA Advisory Circular AC 70/7560-2K. These regulations pertain to structures and objects within 20,000 feet of the Nut Tree Airport or Travis Air Force Base runway that penetrate the navigable airspace (exceed a slope of 100:1 feet horizontally from the runway). Prior to the issuance of a building permit, Developer shall provide a copy of the written determination regarding the proposed project, and if necessary, incorporate the FAA regulations within the final plans.*
3. *If the project site is located within an "Airport Influence Area", prior to entering into any sale or lease of such land the property owner or developer shall provide the buyer or lessee with the following disclosure statement as required by Section 11010 of the Business and Professions Code and Sections 1102.6, 1103.4 and 1353 of the Civil Code, related to aviation:*

"NOTICE OF AIRPORT IN THE VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to these annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you."










I hope you find that this letter appropriately addresses compliance with the ALUC conditions of approval. Please feel free to let me know if you have any questions.

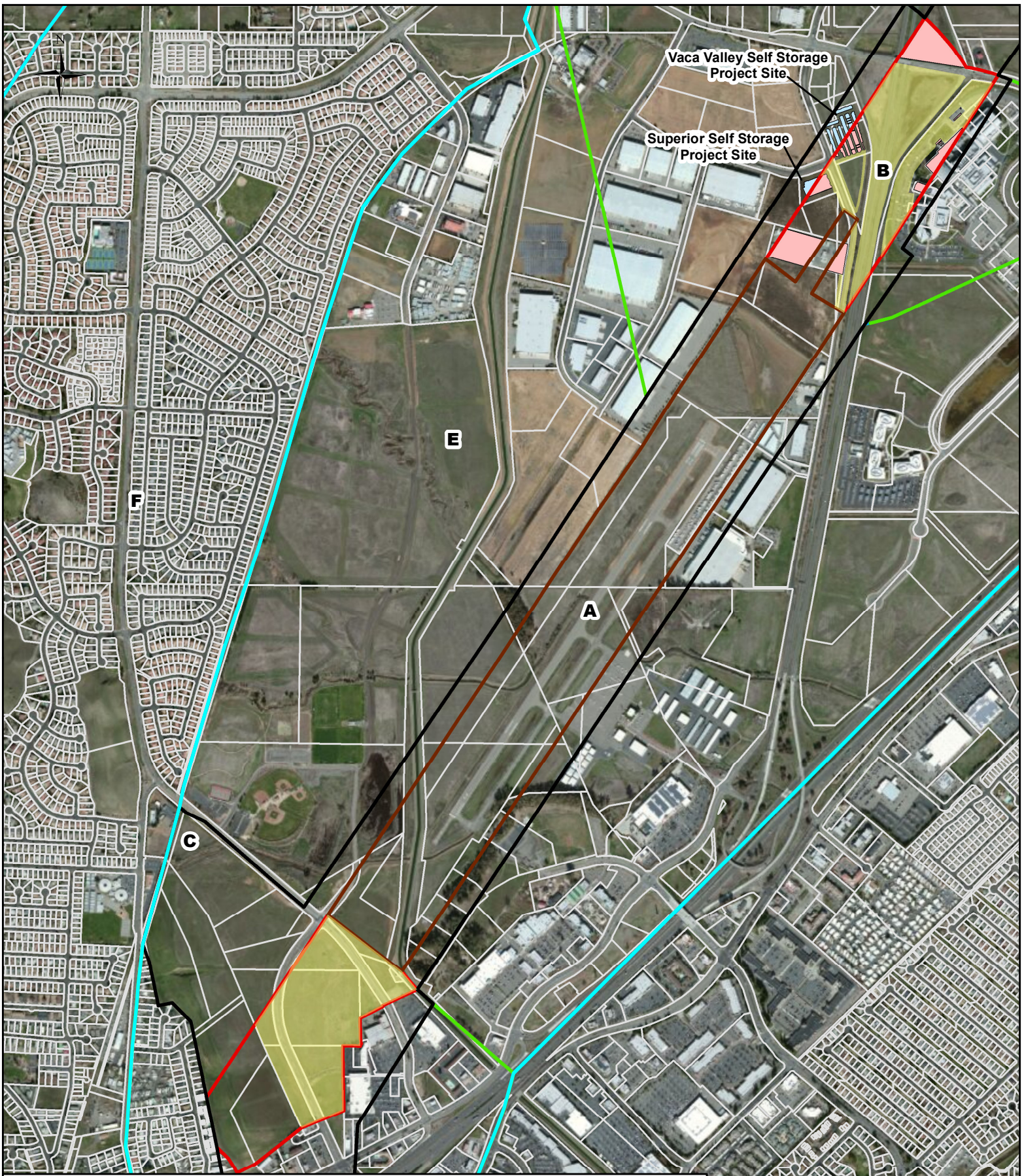
Sincerely,



PEYMAN BEHVAND,
City Planner



Airport Land Use Zones		 Structures Outside of Area B
 Zone A - Clear Zone or Primary Surface	 17% of Area B - Structures	
 Zone B - Inner Approach/Departure Zone	 53% Suitable Landing Space	
 Zone C - Outer Approach/Departure Zone or Adjacent Runway		
 Zone D - Extended Approach/Departure Zone		
 Zone E - Adjacent to Runway or Final Approach		
 Zone F - Other Airport Environs		



Airport Land Use Zones

- Zone A - Clear Zone or Primary Surface
- Zone B - Inner Approach/Departure Zone
- Zone C - Outer Approach/Departure Zone or Adjacent Runway
- Zone D - Extended Approach/Departure Zone
- Zone E - Adjacent to Runway or Final Approach
- Zone F - Other Airport Environs

- Structures Outside of Area B
- 8.7% of Area B - Structures
- 60.4% Suitable Landing Space

Attachment I to be distributed at ALUC Meeting.