

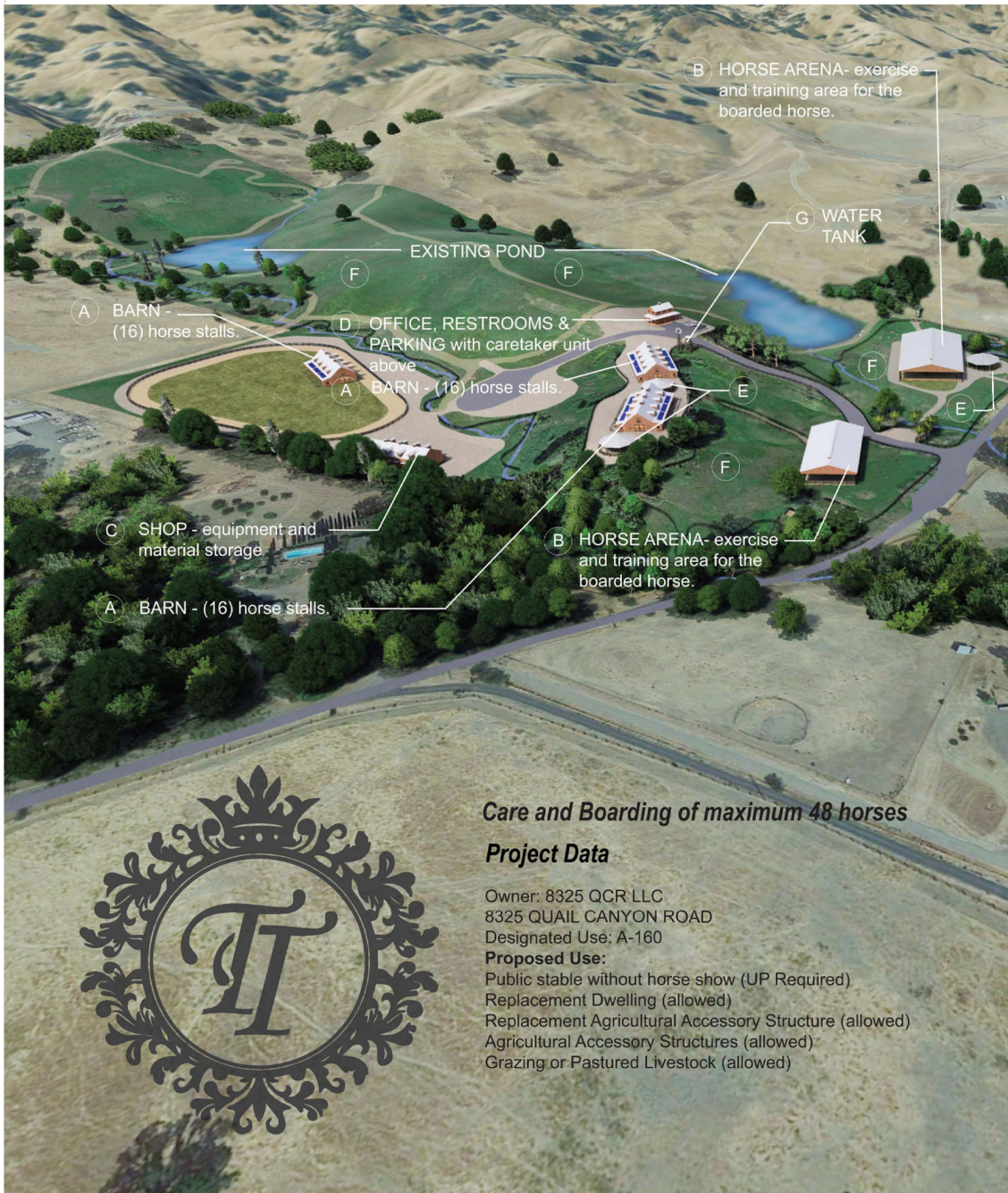


DOUBLE TRANCH
Quail Canyon Road

A NET-ZERO RANCH USE PERMIT SUBMITTAL 8325 Quail Canyon Road

*“Let the beauty we love be what we do. There are hundreds of ways to kneel and kiss the ground.”
-13th century Persian poet Rumi*

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				A3.1	PARTIAL SITE 8325 PROPOSED PLAN



B HORSE ARENA- exercise and training area for the boarded horse.

G WATER TANK

EXISTING POND

D OFFICE, RESTROOMS & PARKING with caretaker unit above
A BARN - (16) horse stalls.

C SHOP - equipment and material storage

B HORSE ARENA- exercise and training area for the boarded horse.

A BARN - (16) horse stalls.



Care and Boarding of maximum 48 horses

Project Data

Owner: 8325 QCR LLC
 8325 QUAIL CANYON ROAD
 Designated Use: A-160
Proposed Use:
 Public stable without horse show (UP Required)
 Replacement Dwelling (allowed)
 Replacement Agricultural Accessory Structure (allowed)
 Agricultural Accessory Structures (allowed)
 Grazing or Pastured Livestock (allowed)



PROJECT DESCRIPTION:

Project proposes to transform a fire ravaged rural site back to its agricultural roots. The land will be enhanced through the recreational use of "Public Stable Without Horse Show", allowing the county residents to enjoy the property on horseback similar to other nearby properties. The project includes barns, pastures, accessory agricultural structures, training facilities and access drives to support the primary use. The care and boarding of the horse are all the activities to maintain the health of the horse while it stays on the property. This includes sleeping, feeding, waste removal, and general equestrian care for an extended period of time. Out of the ashes of the fire that devastated the community, the owners want to create a picturesque setting for the care of horses. They are committed to being gracious members in the community.

PROJECT SUMMARY:

- The Care and Boarding of horses are all the activities required for the health and wellbeing of horses. This includes shelter, exercising, feeding and waste removal. Other activities may include veterinarian care and farrier services to be performed by outside vendors that may travel to the site.
- The two arenas and three training rings are to be used for training and exercise by the horses boarded within the facility. Horses will not be boarded or penned within the arena.
- No racetrack is planned for this facility.
- The property is proposing one equipment shop that will be utilized for the storage of equipment and materials to run a facility of this size. This may include tractors, U.T.V's, tools and material for the general maintenance and upkeep of the grounds and buildings.

ARCHITECTURAL ASSETS:

- Refer to Sheet A4.1 thru A4.11
- A. (3) Proposed horse Barns.
 - B. (2) Covered riding Arena
 - C. (1) Equipment shop
 - D. (1) Office, with Caretaker unit above
 - E. (3) Covered, training ring
 - F. pasture fencing throughout
 - G. (1) Water tank

PARKING:

Parking will be screened from view with the use of the site topography, architectural assets and landscaping.
 Suggested 1/4 space per Horse
 (48) total Horses
 1 space for each employee.
 (4) total
 Suggested parking: (16) total
 Suggested trailer parking/ storage: (16) trailers

PARKING SUMMARY:

Parking is numerous, due to the rural nature and activities of the site. (13) visitor spaces are located near the office with (2) of them being accessible. (10) spaces are located loosely near the emergency vehicle turn around south of the office. Additional parking is also anticipated near the barns, and equipment shop.

ACCESS/ CIRCULATION:

Ingress and Egress to the site will be provided via the existing driveway off Quail Canyon Road. Access throughout property will utilize existing culverts. No new driveway culverts, vehicle bridges or vehicle over crossings are proposed.

WATER SUPPLY:

The project will utilize the existing on-site well, existing ponds, existing water service and new water tank. Refer to water management plan for more information.

WASTEWATER:

Wastewater will be treated by on-site septic systems.

GRADING:

No Grading is proposed at this time. New buildings will utilize existing pads and drives.

SITE LIGHTING:

To maintain the rural nature of the site, lighting will be limited to the exterior lighting of the architectural points of entry, the areas where common tasks associated to the care of horses will take place, and way-finding.



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DOUBLE T RANCH
 8325 QUAIL CANYON ROAD,
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PROJECT DATA & DESCRIPTION

SCALE:	NTS
DATE:	08/12/2022
REVISIONS:	
PROJECT NO.	21048
A0.1	
SHEET	OF



**SETBACK
DIAGRAM**

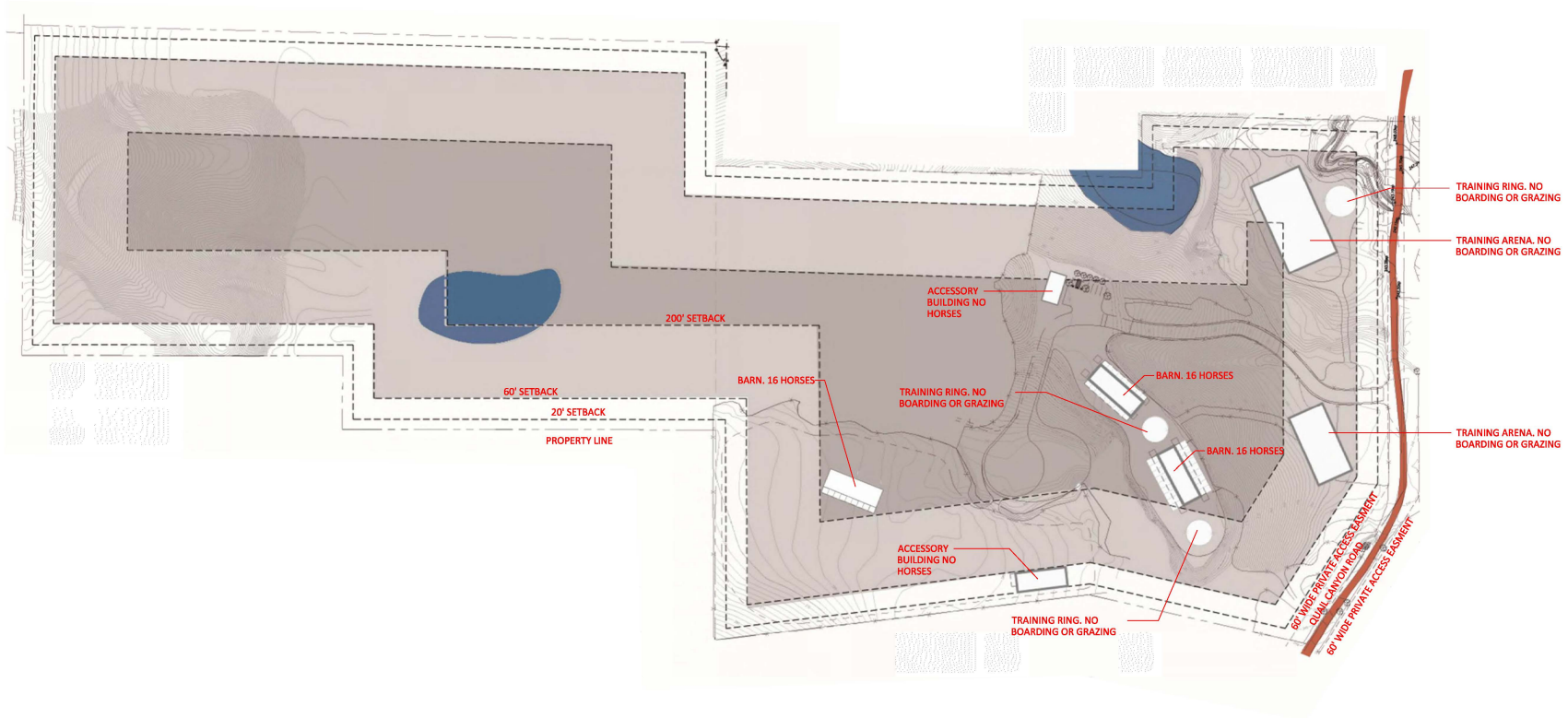
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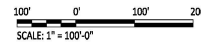
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A0.2
SHEET OF



SETBACK DIAGRAM





6" WOOD FENCING

8325		
NO.	TYPE OF BUILDING	PAGE
1	WATER TANK	A4.11
2	TRAINING ARENA	A4.4-A4.5
3	BARN - 16 HORSES	A4.1
4	ACCESSORY BUILDING	A4.8
5	BARN - 16 HORSES	A4.3
6	TRAINING RING	A4.10
7	BARN - 16 HORSES	A4.2
8	TRAINING RING	A4.10
9	ACCESSORY BUILDING	A4.9
10	TRAINING RING	A4.10
11	TRAINING ARENA	A4.6-A4.7

SITE DIAGRAM

100' 0' 100' 200'
SCALE: 1" = 100'-0"



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SITE DIAGRAMS

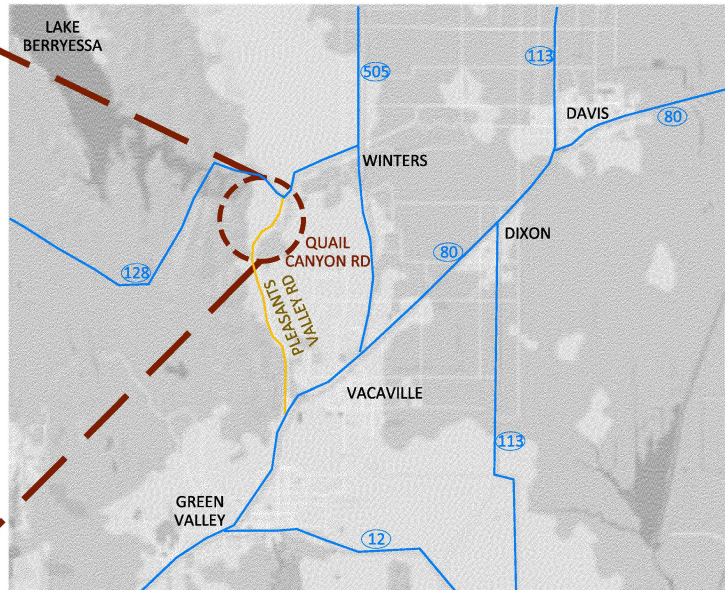
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A0.3
 SHEET OF



VICINITY MAP



PROJECT LOCATION



SITES INFORMATION:

ADDRESS: 8325 QUAIL CANYON ROAD
 APN: 0101-120-450
 ACRES: 47.49

ZONING INFORMATION:
 A-160 AGRICULTURE



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VICINITY MAP
 DRAWING INDEX

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A0.4

SHEET OF



6 EXISTING SITE IMAGE
NORTH AT 8325 QUAIL CANYON ROAD



5 EXISTING SITE IMAGE
NORTH-WEST AT 8325 QUAIL CANYON ROAD



4 EXISTING SITE IMAGE
EAST AT 8325 QUAIL CANYON ROAD



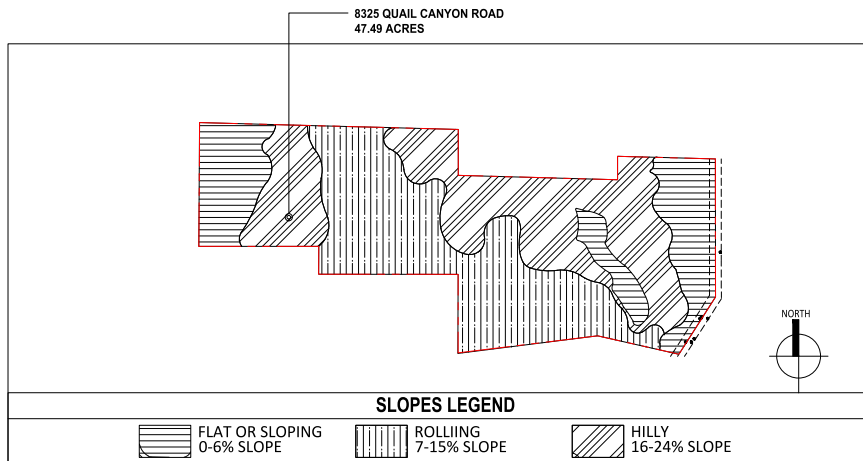
3 BURNT IMAGE
WEST AT 8325 QUAIL CANYON ROAD



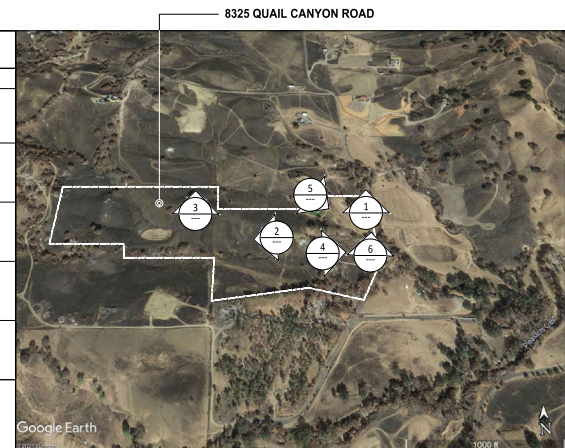
2 BURNT IMAGE
EAST AT 8325 QUAIL CANYON ROAD



1 BURNT IMAGE
EAST AT 8325 QUAIL CANYON ROAD



8 EXISTING SITE SLOPES MAP
SCALE: 1" = 300'



7 EXISTING SITE AERIAL IMAGE



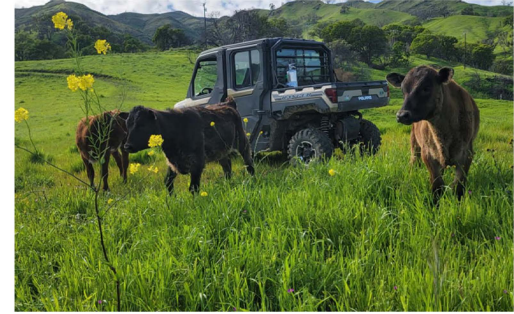
CARING FOR HORSES IN RECOVERY

ONE OF DOUBLE T RANCH'S PRIMARY MISSIONS IS TO PROVIDE A SANCTUARY FOR HORSES IN NEED OF RECOVERY. THE RANCH IS EXPLORING A PARTNERSHIP WITH A LOCAL ANIMAL WELFARE ORGANIZATION AND VETERINARIAN TO REHABILITATE HORSES THAT HAVE FACED TRAUMATIC HEALTH ISSUES OR INJURIES. THESE EQUINE RESIDENTS CAN FIND SOLACE IN SPACIOUS, METICULOUSLY MAINTAINED PADDOCKS, AND THE CARE THEY NEED, INCLUDING PHYSICAL THERAPY, SPECIALIZED NUTRITION, AND EMOTIONAL HEALING.



MANURE MANAGEMENT

THROUGH THE CREATION OF VALUABLE FERTILIZER, THE RANCH ENHANCES ITS LOCAL AGRICULTURAL PRESENCE. MANAGING HORSES AND OTHER LARGE ANIMAL WASTE (MANURE) IS A PIVOTAL ASPECT OF THE RANCH'S OPERATIONS. CONTRARY TO BEING A WASTE PRODUCT, HORSE MANURE SERVES AS VALUABLE ORGANIC FERTILIZER FOR CROPS. THIS SUSTAINABLE PRACTICE OF RECYCLING MANURE TO ENHANCE SOIL FERTILITY CLOSELY ALIGNS WITH AGRICULTURAL PRINCIPLES.



ECONOMIC CONTRIBUTION

EQUESTRIAN CENTERS PLAY A VITAL ROLE IN THE LOCAL ECONOMY BY GENERATING REVENUE THROUGH VARIOUS ACTIVITIES, INCLUDING HORSE BOARDING, RIDING LESSONS, AND GENERAL CARE. THIS ECONOMIC CONTRIBUTION EFFECTIVELY SUPPORTS THE LOCAL AGRICULTURAL ECONOMY, BENEFITING THE LIVELIHOODS OF FARMERS AND AGRICULTURAL WORKERS.



ANIMAL HUSBANDRY

THE RANCH IS ENGAGED IN THE CARE, BREEDING, AND TRAINING OF HORSES, REPRESENTING A FORM OF ANIMAL HUSBANDRY. HORSES FIND THEIR PLACE WITHIN THE AGRICULTURAL FRAMEWORK, WITH THESE FACILITIES ENSURING THEIR WELL-BEING THROUGH PROPER NUTRITION, MEDICAL ATTENTION, AND SHELTER - ALL ESSENTIAL COMPONENTS OF AGRICULTURAL ANIMAL HUSBANDRY.

DOUBLE T RANCH: PRESERVING AGRICULTURE THROUGH TRADITION AND BALANCE



EDUCATIONAL AND COMMUNITY ENGAGEMENT

MANY EQUESTRIAN CENTERS ACTIVELY ENGAGE IN EDUCATIONAL PROGRAMS, AGRICULTURAL FAIRS, AND COMMUNITY EVENTS THAT PROMOTE AGRICULTURAL AWARENESS. THESE CENTERS PROVIDE INVALUABLE OPPORTUNITIES FOR THE PUBLIC TO LEARN ABOUT AGRICULTURE, ANIMAL HUSBANDRY, AND RURAL LIFE, FURTHER UNDERSCORING THEIR SIGNIFICANT ROLE IN AGRICULTURAL EDUCATION AND COMMUNITY UNITY.



LAND USE AND RURAL PRESERVATION

DOUBLE T RANCH OCCUPIES SUBSTANTIAL LAND AREAS IN A RURAL SETTING, SAFEGUARDING OPEN SPACE AND PRESERVING THE RURAL CHARACTER OF THE COMMUNITY, THEREBY PREVENTING URBAN SPRAWL. WITH ONLY 6.6% OF THE LAND BEING DEDICATED TO THE CARE OF HORSES, OPEN SPACE IS PRESERVED. THIS COMMITMENT ALIGNS PERFECTLY WITH THE BROADER AGRICULTURAL GOAL OF CONSERVING RURAL LANDSCAPES FOR AGRICULTURAL PURPOSES.

NESTLED WITHIN THE HEART OF OUR RURAL LANDSCAPE LIES AN ENCHANTING AGRICULTURAL HAVEN KNOWN AS DOUBLE T RANCH. METICULOUSLY MAINTAINED BARNs THAT HOUSE MAJESTIC EQUINE COMPANIONS, AND STATE-OF-THE-ART RIDING ARENAS WHERE THE TIMELESS BOND BETWEEN HUMANS AND AGRICULTURE FLOURISHES.

DOUBLE T RANCH IS A PLACE WHERE THE ART OF NURTURING HORSES THROUGH METICULOUS ANIMAL HUSBANDRY, BEYOND ITS PICTURESQUE BEAUTY, IT SERVES AS A GUARDIAN OF PRISTINE RURAL LANDSCAPES, A NURTURING WELLSPRING FOR THE LOCAL ECONOMY, AND A BEACON OF AGRICULTURAL EDUCATION AND COMMUNITY UNITY. THESE ENCHANTING FACETS COLLECTIVELY PAINT THE AGRICULTURAL CENTER AS AN UNQUESTIONABLE EMBODIMENT OF RURAL AGRICULTURAL SPLENDOR WITHIN THE BROADER CANVAS OF ENDURING FARMING TRADITIONS.

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PRESERVING
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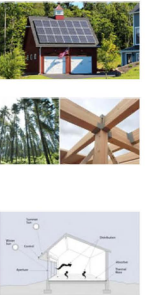
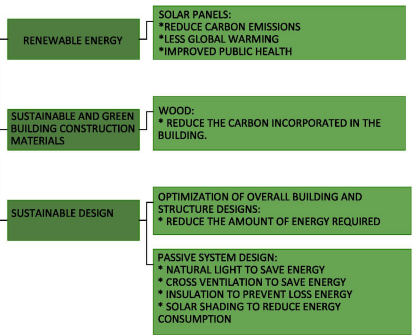
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EXAMPLE OF BUILDING NET ZERO

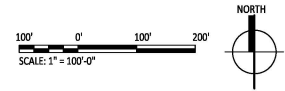
NET ZERO GOALS



DOUBLE T RANCH IS PROPOSING THE FOLLOW PASSIVE AND ACTIVE STRATEGIES TO HELP ACHIEVE NET-ZERO ENERGY:

- BY PRODUCING RENEWABLE ENERGY ONSITE VIA SOLAR PANELS, REDUCING CARBON EMISSIONS EVERY DAY.
- BY OPTIMIZATION OF OVERALL BUILDING AND STRUCTURE DESIGNS ON DOUBLE T RANCH WILL HELP REDUCE THE AMOUNT OF ENERGY REQUIRED.
- BY SOLAR SHADING TO HELP REDUCE ENERGY CONSUMPTION FROM THE MECHANICAL SYSTEMS AND KEEP A BUILDING COMFORTABLE.
- BY USING NATURAL LIGHT AND CROSS VENTILATION TO HELP SAVE ENERGY, MODERATE INTERNAL TEMPERATURES AND CREATING COMFORT SPACES.
- BY USING WOOD TO REDUCE THE CARBON INCORPORATED IN THE BUILDING AND IMPROVING AIR QUALITY.
- BY USING INSULATION TO PREVENT LOSS ENERGY.

NET ZERO STRATEGIES



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GRASS FIRE IMAGE 1*



GRASS FIRE IMAGE 2*



GRASS FIRE IMAGE 3*



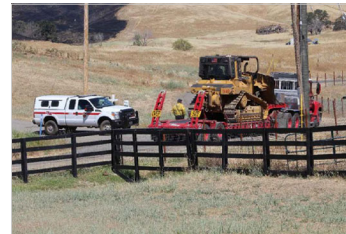
GRASS FIRE IMAGE 4*



WATER TRUCK IMAGE 1*



WATER TRUCK IMAGE 2*



TRACTOR IMAGE*



WATER TRUCK IMAGE 3*

*PHOTOS TAKEN WHEN WE ASSIST A 200 ACRE GRASS FIRE ON QUAIL CANYON ROAD

DOUBLE T RANCH HAS IDENTIFIED THE FOLLOWING POTENTIAL EMERGENCIES:

1. FIRES
2. PERSONAL INJURIES OR ACCIDENTS
3. ANIMAL INJURIES

1. FIRES
FIRES MAY OCCUR IN MANY FORMS; WILDFIRES, EQUIPMENT FIRES, SMALL GRASS FIRES OR STRUCTURE FIRES. DOUBLE T RANCH OWNS A 4,000-GALLON WATER TRUCK. THIS TRUCK IS USED TO PREVENT FIRES ON OUR PROPERTY AND TO FIGHT FIRES ANYWHERE WE ARE NEEDED. WE ARE ABLE TO FILL OUR WATER TRUCK FROM 3 PONDS AND LARGE ABOVE GROUND TANK FILLED WITH THOUSANDS OF GALLONS OF POND AND WELL WATER. WE ALSO HAVE SEVERAL FIRE EXTINGUISHERS AND TWO PORTABLE 275-GALLON WATER TRAILERS WITH PUMPS AND HOSES. OUR PROPERTIES ARE ALSO EQUIPPED WITH MANY WATER SPIGOTS AND HOSES. WHEN PERFORMING TASKS THAT MAY START A FIRE, DOUBLE T RANCH EMPLOYEES ALWAYS HAVE WATER NEARBY.

WILDFIRES: TO PREVENT WILDFIRES FROM STARTING ON OUR PROPERTY, DOUBLE T RANCH AND ITS EMPLOYEES DO NOT CUT GRASS, WOOD, MASONRY, CONCRETE OR METALS AFTER 9 AM OUTDOORS UNLESS THE DAY WE NEED TO CUT SOMETHING IS ALSO AN APPROVED BURN DAY AS DETERMINED BY THE YOLO COUNTY AIR QUALITY MANAGEMENT DISTRICT. SIMILARLY, WE DO NOT CUT OR GRADE SOIL IF FLAMMABLE VEGETATION IS PRESENT UNLESS IT IS AN APPROVED BURN DAY.

EQUIPMENT FIRES: TO EXTINGUISH AN EQUIPMENT FIRE, EACH SIDE OF QUAIL CANYON ROAD IS EQUIPPED WITH MULTIPLE WATER SPIGOTS AND

WATER HOSES. EACH AUTOMOBILE, TRACTOR AND UTV HAS ITS OWN FULLY-CHARGED FIRE EXTINGUISHER. WE ALSO HAVE TWO TOWABLE WATER TRAILERS THAT INCLUDE A 275-GALLON TANK, A GAS-POWERED PUMP AND 100 FEET OF WATER HOSE ON "QUICK REELS".

GRASS FIRES: LIKE WILDFIRE PREVENTION, WE PREVENT GRASS FIRES BY NOT CUTTING GRASS, WOOD, MASONRY, CONCRETE OR METALS AFTER 9 AM OUTDOORS UNLESS THE DAY WE NEED TO CUT SOMETHING IS ALSO AN APPROVED BURN DAY AS DETERMINED BY THE YOLO COUNTY AIR QUALITY MANAGEMENT DISTRICT. SIMILARLY, WE DO NOT CUT OR GRADE SOIL IF FLAMMABLE VEGETATION IS PRESENT UNLESS IT IS AN APPROVED BURN DAY. DOUBLE T RANCH MAINTAINS AN EVER-ENLARGING HERD OF CATTLE AND GOATS FOR THE SOLE PURPOSE OF GRAZING TO MINIMIZE THE AMOUNT OF GRASS FIRE FUEL. WE DO NOT PROCESS OUR CATTLE OR GOATS. TO EXTINGUISH A GRASS FIRE, WE WILL EMPLOY THE SAME AFOREMENTIONED FIREFIGHTING METHODS.

STRUCTURE FIRES: TO PREVENT STRUCTURE FIRES, DOUBLE T RANCH WILL CONSTRUCT BUILDINGS WITH FIRE RESISTANT BUILDING MATERIALS WHEREVER POSSIBLE AND FEASIBLE. OUR COVERED RIDING ARENAS ARE 100% METAL AND STEEL. OUR HORSE BARN ARE EQUIPPED WITH FIRE SUPPRESSION SYSTEM FED FROM CENTRALIZED ABOVE GROUND TANK, A GENERATOR AND A PUMP TO EXTINGUISH ANY FIRE THAT "TRIGGER" A SMOKE DETECTOR OR THE FUSIBLE LINK ON A FIRE SPRINKLER HEAD. BARN ARE FULLY FIRE-SPRINKLERED.

2. PERSONAL INJURIES & ACCIDENTS
FOR ALL VISITORS, BOARDERS AND EMPLOYEES, SAFETY IS PRIORITY ONE AT DOUBLE T RANCH. EVERY BARN, ARENA AND STRUCTURE IS EQUIPPED WITH VISIBLE FIRST AID KITS. AT A MINIMUM, FOUR DOUBLE T RANCH

EMPLOYEES WILL OBTAIN AND MAINTAIN THEIR AMERICAN RED CROSS FIRST AID CERTIFICATION(S). EMPLOYEES AND BOARDERS ARE COMPELLED TO STOP ANY PERSON THEY WITNESS PERFORMING AN ACTIVITY THAT IS UNSAFE. DOUBLE T RANCH'S "WELCOME PACKET" INCLUDES RULES, REGULATIONS AND A MAP TO THE CLOSEST EMERGENCY ROOM AND URGENT TREATMENT CENTER.

3. ANIMAL SAFETY
LIKE PERSONAL SAFETY, ANIMAL SAFETY IS ALSO PARAMOUNT AT DOUBLE T RANCH. WHILE EXECUTING A BOARDING AGREEMENT, SIGNING AN INDEMNIFICATION AND LIABILITY WAIVER AND SIGNING THE RANCH RULES & REGULATIONS DOCUMENT, EACH HORSE OWNER IS REQUIRED TO PROVIDE THEIR VETERINARIAN CONTACT INFORMATION. THIS VETERINARIAN INFORMATION WILL BE IN THE BOARDER'S ON-SITE FILE AND WRITTEN ON A PLACARD PROMINENTLY DISPLAYED IN FRONT OF EACH HORSE'S STALL. THE "WELCOME PACKET" INCLUDES A MAP AND DIRECTIONS TO LARGE ANIMAL HOSPITALS IN THE AREA, INCLUDING UC DAVIS. IF AN ANIMAL MUST BE EUTHANIZED, DOUBLE T RANCH IS PREPARED TO ASSIST THE HORSE OWNER WITH THE OWNER'S CONSENT. THIS SITUATION IS ALSO ACKNOWLEDGED IN THE BOARDING AGREEMENT LANGUAGE.

EMERGENCY RESPONSE PLAN



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EMERGENCY RESPONSE PLAN

SCALE: NTS

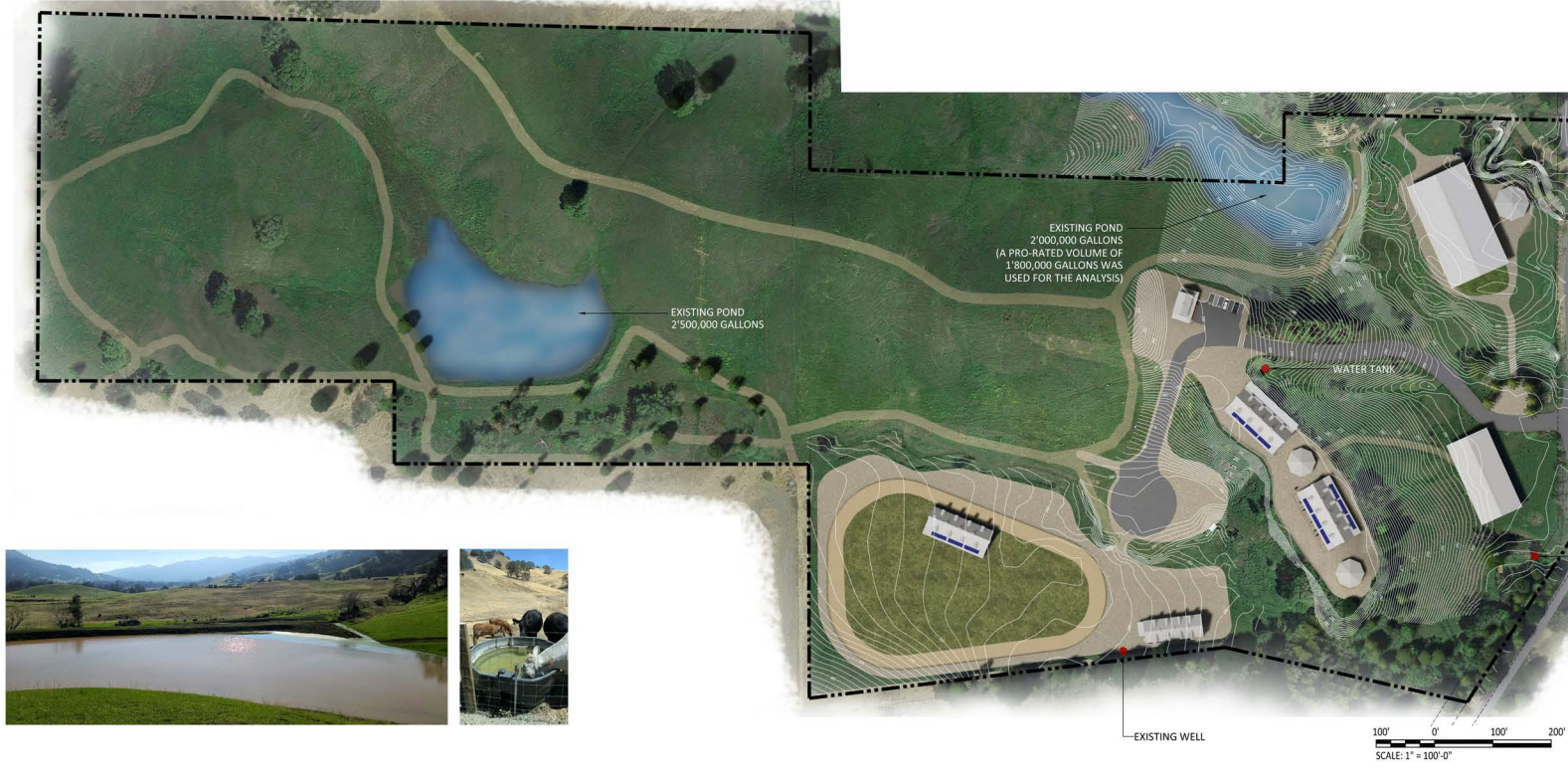
DATE: 08/12/2022

REVISIONS:

PROJECT NO. 21048

A1.2

SHEET OF



REFER TO "DOUBLE T RANCH WATER DEMAND STUDY" BY "HYDROSCIENCE" (DATED: DECEMBER 1, 2023)

THE PROJECT PROPOSES TO TRANSFORM THE EXISTING 47.49-ACRE SITE TO ITS AGRICULTURAL ROOTS. THE PROJECT INCLUDES BARN, PASTURES, ACCESSORY AGRICULTURAL STRUCTURES, HORSE TRAINING FACILITIES, WATER STORAGE TANK, IRRIGATION WELL AND MAINTENANCE FACILITIES FOR THE CARE AND BOARDING OF HORSES.

POTABLE WATER SUPPLY: SOLANO IRRIGATION DISTRICT

PER A SUBSCRIPTION AGREEMENT WITH THE SOLANO IRRIGATION DISTRICT (SID), THE PROPERTY IS SUPPLIED A MAXIMUM OF 670 GALLONS PER DAY (GPD) FOR POTABLE WATER USE.

NON-POTABLE WATER SUPPLY: ON-SITE IRRIGATION WELL AND STORAGE PONDS
 IN ADDITION TO THE POTABLE WATER SUPPLY, THE SITE ALSO GENERATES NON-POTABLE WATER FROM TWO SOURCES. THE FIRST SOURCE IS AN EXISTING IRRIGATION WELL. THE WELL WAS CONSTRUCTED WITH A 5.5-INCH DIAMETER CASING, DRILLED TO A DEPTH OF 83 FEET BELOW GROUND SURFACE (BGS). THE MOST RECENT WATER LEVEL READING ON THE WELL PUT STATIC WATER LEVELS AT 19 FEET BGS. THE IRRIGATION WELL IS ONLY TO BE USED DURING WET WEATHER MONTHS OF OCTOBER THROUGH APRIL WHEN IRRIGATION DEMANDS ARE MINIMAL. THE ANNUAL PUMPING RATE REQUIRED OF THIS SOURCE IS 1.77 GALLONS PER MINUTE, EQUATING TO APPROXIMATELY 2.75 ACRE-FEET AS THE TOTAL VOLUME OF WATER USED OF THIS SOURCE.

THE SECOND SOURCE OF NON-POTABLE WATER COMES FROM TWO EXISTING ON-SITE WATER STORAGE PONDS, WHICH HAS AN APPROXIMATE CAPACITY OF 4,500,000 GALLONS. THE SOUTHERN POND HAS AN APPROXIMATE VOLUME OF 2,500,000 GALLONS, WHILE THE NORTHERN POND HAS AN APPROXIMATE VOLUME OF 2,000,000 GALLONS. IT SHOULD BE NOTED, THE NORTHERN POND LIES BETWEEN TWO PARCELS, WITH MUCH OF THE SURFACE AREA BELONGING TO THE DOUBLE T RANCH. A PRO-RATED VOLUME OF 1,800,000 GALLONS OF THE SMALLER POND WAS USED FOR THIS ANALYSIS, WITH A COMBINED VOLUME OF

4,300,000 GALLONS FOR NON POTABLE WATER USE. THESE STORAGE PONDS HAVE HISTORICALLY BEEN USED FOR MINOR IRRIGATION, FIRE SUPPRESSION AND FIREFIGHTING. IT SHOULD BE NOTED A STATE WATER BOARD PERMIT IS NOT NEEDED TO USE WATER CAPTURED BY THE PONDS BECAUSE THEY DIVERT SHEETFLOWS THAT ARE NOT CONTAINED WITHIN A WATER COURSE WITH A "DEFINITE CHANNEL WITH BED AND BANKS" AND ARE THUS NOT SUBJECT TO THE STATE WATER BOARD'S WATER RIGHTS JURISDICTION.

THE STORAGE PONDS ARE ASSUMED TO FILL DURING WET WEATHER MONTHS, WITH A SPILLWAY MAINTAINING A CONSISTENT MAXIMUM WATER LEVEL IN THE PONDS AND WILL BE PARTIALLY DRAWN DOWN DURING STARTING IN APRIL AND ENDING IN SEPTEMBER. GEOTECHNICAL INVESTIGATIONS INDICATE A CLAY SOIL LAYER UNDERLYING THE PONDS CAUSING MINIMAL TO NO WATER LOSS DUE TO INFILTRATION. IT IS ASSUMED THAT WATER FROM THE PONDS WILL EVAPORATE DURING THE DRY WEATHER MONTHS.

WATER DEMANDS

SITE WATER DEMANDS INCLUDE STAFF, GUESTS, RESTROOMS, KITCHEN FACILITIES, PASTURE, TREES, NATIVE GRASSES, AND HORSES. SID'S ALLOTMENT IS PROPOSED TO BE SUPPLIED TO ONLY THE POTABLE WATER DEMANDS OF GUESTS, STAFF, AND POTABLE USES ASSOCIATED WITH THE KITCHEN AND RESTROOMS. THE ON-SITE IRRIGATION WELL AND WATER STORAGE PONDS WILL SUPPLY NON POTABLE WATER TO THE SITE IRRIGATION SYSTEM, AND TO SUPPLY WATER FOR THE HORSES WHO ARE STABLED ON-SITE.

POTABLE WATER DEMANDS

THE DAILY POTABLE WATER DEMAND OF 158.4 GPD FOR DRINKING WATER AND USE OF THE KITCHEN AND RESTROOM FACILITIES FOR EMPLOYEES AND GUEST DOES NOT EXCEED SID'S MAXIMUM DAILY ALLOTMENT OF 670 GPD.

NON-POTABLE WATER DEMANDS - LIVESTOCK

THE NON-POTABLE WATER FOR THE LIVESTOCK IS USED FOR CONSUMPTION, ANIMAL CLEANING, AND BARN MAINTENANCE. WITH UP TO 48 HORSES ON SITE,

PEAK DAILY NON-POTABLE WATER DEMANDS FOR LIVESTOCK IS 2,520 GPD. IRRIGATION OF THE TREES AND LANDSCAPING WILL BE CALCULATED BY USING A COMBINATION OF DRY-YEAR PRECIPITATION, WATER STORAGE PONDS AND NON-POTABLE WATER FROM THE IRRIGATION WELLS. AREAS OF DIRECT IRRIGATION ARE LOCATED ALONG QUAIL CANYON ROAD AND THE PROPOSED DRIVEWAY AND CONSISTS OF APPROXIMATELY 1 ACRE OF TREES AND DRAUGHT TOLERANT GRASSES.

ANNUAL WATER BALANCE

POTABLE WATER BALANCE
 THE DAILY POTABLE WATER DEMAND IS 158.4 GPD. THIS DEMAND IS USED FOR DRINKING WATER, IN THE KITCHEN, AND RESTROOM FACILITIES FOR EMPLOYEES AND GUESTS. THIS DAILY POTABLE WATER DEMAND WOULD BE SUPPLIED BY THE SID WATER SERVICE, AND IS LESS THAN THE SID MAXIMUM DAILY ALLOTMENT OF 670 GPD.

NON POTABLE WATER BALANCE

THE IRRIGATION WELL WILL BE USED DURING WET WEATHER MONTHS, ALLOWING THE STORAGE PONDS TO BE FILLED THROUGH WINTER STORM EVENTS AND DRAWN DOWN WOULD OCCUR STARTING IN MAY THROUGH SEPTEMBER.

POND VOLUMES

THE STORAGE PONDS PROVIDE A COMBINED VOLUME OF 4,300,000 GALLONS OF WATER TO THE PROJECT SITE. THE PONDS WILL REMAIN PARTIALLY FULL AT THE END OF SEPTEMBER AND NON POTABLE WATER WOULD THEN BE SUPPLIED BY THE EXISTING IRRIGATION WELL UNTIL THE SPRING. ALLOWING THE WET WEATHER STORM EVENTS TO RECHARGE THE PONDS TO FULL CAPACITY.

GROUNDWATER MANAGEMENT

USE OF THE EXISTING SURFACE WATER STORAGE PONDS AND EXISTING

IRRIGATION WELL FOR THE PROJECT, DOES NOT SIGNIFICANTLY CHANGE THE HISTORICAL WATER USE ON SITE. IT CAN BE CONCLUDED THAT THE PROPOSED PROJECT, UTILIZING THE EXISTING IRRIGATION WELL WITH AN ANNUAL PRODUCTION RATE OF 1.77 GPM, WILL NOT SUBSTANTIALLY DECREASE GROUNDWATER SUPPLIES OR INTERFERE SUBSTANTIALLY WITH GROUNDWATER RECHARGE SUCH THAT THE PROJECT MAY IMPEDE SUSTAINABLE GROUNDWATER MANAGEMENT OF THE BASIN.

CONCLUSION

IN RESTRICTING POTABLE WATER USE TO BATHROOM AND RESTROOM FACILITIES OF STAFF AND GUESTS, PEAK DAILY AND AVERAGE DAILY WATER DEMANDS OF 158.4 GPD FOR POTABLE WATER WILL NOT EXCEED SID'S DAILY ALLOTMENT OF 670 GPD. TO MEET THE ANNUAL DRY-YEAR PRECIPITATION DEMANDS FOR HORSE CARE AND SITE IRRIGATION, SUPPLY OF NON-POTABLE WATER FROM THE EXISTING WATER STORAGE PONDS AND THE EXISTING WELL WILL MEET THE ANNUAL WATER DEMANDS FOR THE PROJECT.



WATER MANAGEMENT PLAN

S.R.A. REQUIREMENTS

FIRE DEPARTMENT NOTES:

WIDTH & SURFACES:

- ROADS WITHIN A PROPOSED SUBDIVISION SHALL BE A MINIMUM OF 20' IN WIDTH. ROAD WHICH PROVIDES THE PRIMARY ROUTE OF ACCESS TO THE PROPERTY BEING SUBDIVIDED OR DEVELOPED SHALL BE A MINIMUM OF 20' IN WIDTH.
- DRIVEWAYS SHALL BE A MINIMUM OF 10' IN WIDTH WITH 14' OF UNOBSTRUCTED HORIZONTAL CLEARANCE.
- ROAD SURFACES. ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT AN IMPOSED LOAD OF AT LEAST 75,000 POUNDS AND PROVIDE AN AGGREGATE BASE.
- DRIVEWAYS AND ROAD OR DRIVEWAY STRUCTURES (BRIDGES, CULVERTS, ETC.) SHALL BE DESIGNED AND MAINTAINED TO SUPPORT AT LEAST 40,000 POUNDS.

MAXIMUM GRADE. MAXIMUM GRADE. THE GRADE FOR ALL ROADS AND DRIVEWAYS SHALL NOT EXCEED 16%.

RADIUS. NO ROAD SHALL HAVE A HORIZONTAL INSIDE RADIUS OF CURVATURE OF LESS THAN 50 FEET.

TURNOUTS AND TURNAROUNDS: TURNOUTS AND TURNAROUNDS ARE REQUIRED ON DRIVEWAYS AND DEAD-END ROADS, AS FOLLOWS:

- DRIVEWAYS EXCEEDING 150' IN LENGTH, BUT LESS THAN 800' IN LENGTH, SHALL PROVIDE A TURNOUT NEAR THE MIDPOINT OF THE DRIVEWAY. WHERE THE DRIVEWAY EXCEEDS 800', TURNOUTS SHALL BE PROVIDED NO MORE THAN 400' APART.
- A TURNAROUND SHALL BE PROVIDED ON DRIVEWAYS OVER 300' IN LENGTH AND SHALL BE WITHIN 50' OF THE BUILDING OR BUILDING PAD.
- THE MINIMUM TURNING RADIUS FOR A TURNAROUND SHALL BE 40', NOT INCLUDING PARKING. IF A HAMMERHEAD/T IS USED, THE TOP OF THE "T" SHALL BE A MINIMUM OF 60' IN LENGTH.
- A DEAD-END ROAD SHALL HAVE A TURNAROUND CONSTRUCTED AT ITS TERMINUS. IN THE RR-5, RR-10, A-20, ASV 20, AND W-160 ZONING DISTRICTS, TURNAROUNDS SHALL BE PROVIDED ALONG DEAD-END ROAD AT A MAXIMUM OF 1,320' INTERVALS.
- A BRIDGE WITH ONLY ONE TRAFFIC LANE SHALL PROVIDE TURNOUTS AT BOTH ENDS.

GATES. GATES SHALL BE AT LEAST 2' WIDER THAN THE ROAD OR DRIVEWAY ON WHICH IT IS LOCATED. GATES PROVIDING ACCESS FROM A ROAD TO A DRIVEWAY SHALL BE LOCATED AT LEAST 30' FROM THE ROADWAY. SECURITY GATES SHALL HAVE AN APPROVED MEANS OF EMERGENCY OPERATION.

SETBACKS AND DEFENSIBLE SPACE

- SETBACKS. ALL PARCELS 1 ACRE OR LARGER SHALL PROVIDE A MINIMUM 30-FOOT SETBACK FOR BUILDINGS AND ACCESSORY BUILDINGS FROM ALL PROPERTY LINES AND/OR THE CENTER OF THE ROAD.
- DEFENSIBLE SPACE. 100' OF DEFENSIBLE SPACE SHALL BE MAINTAINED AROUND ALL BUILDINGS UNLESS THE BUILDING IS LOCATED LESS THAN 100' FROM A PROPERTY LINE, IN WHICH CASE THE AREA BETWEEN THE BUILDING AND THE PROPERTY LINE SHALL BE MAINTAINED AS DEFENSIBLE SPACE. 10' OF DEFENSIBLE SPACE SHALL BE MAINTAINED ON EACH SIDE OF ROADS AND DRIVEWAYS.

BUILDING NUMBERING

- BUILDING ADDRESSES. ALL BUILDINGS, OTHER THAN UTILITY AND MISCELLANEOUS GROUP U BUILDINGS, WILL BE ISSUED AN ADDRESS. THIS ADDRESS SHALL BE POSTED ON THE ROAD FRONTING PROPERTY AT THE DRIVEWAY ENTRANCE, VISIBLE FROM BOTH DIRECTIONS OF TRAVEL, IN NUMBERS A MINIMUM 3" HEIGHT AND 3/8" STROKE, REFLECTORIZED, AND CONTRASTING WITH THE BACKGROUND COLOR.
- WHERE MULTIPLE ADDRESSES ARE SERVED BY A DRIVEWAY, THEY SHALL BE ON A SINGLE SIGN OR POST. ADDRESSES SHALL BE POSTED AT THE START OF CONSTRUCTION AND SHALL BE MAINTAINED THEREAFTER.

FIRE SUPPRESSION/EMERGENCY WATER STANDARDS:

- WATER SUPPLY. ON PARCELS NOT SERVED BY A PUBLIC WATER SYSTEM, ON-SITE WATER STORAGE FOR WILDFIRE PROTECTION SHALL BE PROVIDED IN ADDITION TO AMOUNTS REQUIRED FOR DOMESTIC USE AND AUTOMATIC SPRINKLER SYSTEMS. THE AMOUNT OF STORAGE REQUIRED FOR WILDFIRE PROTECTION SHALL EQUAL OR EXCEED THE AMOUNT SPECIFIED BY NFPA 1142.
- HYDRANTS. THE LOCATION OF A HYDRANT IN RELATION TO THE ROAD OR DRIVEWAY AND TO THE BUILDING(S) OR STRUCTURE(S) IT SERVES SHALL COMPLY WITH CALIFORNIA FIRE CODE, CALIFORNIA CODE OF REGULATIONS TITLE 24, PART 9, CHAPTER 5, AND APPENDIX C. A BLUE DOT REFLECTOR, WITH A MINIMUM DIMENSION OF 3", SHALL BE ADJACENT TO THE HYDRANT.
- TIME OF INSTALLATION. WATER SUPPLIES FOR WILDFIRE PROTECTION AND FOR STRUCTURE DEFENSE SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION, EXCEPT WHEN AN ALTERNATIVE METHOD OF PROTECTION IS PROVIDED AND APPROVED BY THE BUILDING OFFICIAL OR FIRE PROTECTION DISTRICT.



TOTAL LENGTH OF QCR ROAD IMPROVEMENTS OF QUAIL CANYON RD IS 3,908' (0.74 MILES)

TURNAROUND SHALL BE CONSTRUCTED AT TERMINUS (EDGE OF MOST NORTHERN PART OF TT RANCH).

TYP. ROAD SHALL BE A MINIMUM OF 20' IN WIDTH EXCEPT A CROSSING WITH ONLY ONE TRAFFIC LANE. ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT AN IMPOSED LOAD OF AT LEAST 75,000 POUNDS AND PROVIDE AN AGGREGATE BASE. COUNTY IS REQUIRING THIS PORTION OF ROAD TO BE PAVED

ALL BRIDGES, CULVERTS, ETC. WITH ONLY ONE TRAFFIC LANE SHALL PROVIDE TURNOUTS AT BOTH ENDS AND SHALL BE DESIGNED AND MAINTAINED TO SUPPORT AT LEAST 40,000 POUNDS.

TURNAROUNDS SHALL BE PROVIDED ALONG ROAD AT A MAXIMUM OF 1,320' INTERVALS.

THE GRADE FOR ALL ROADS AND DRIVEWAYS SHALL NOT EXCEED 16%.

NO ROAD SHALL HAVE A HORIZONTAL INSIDE RADIUS OF CURVATURE OF LESS THAN 50 FEET

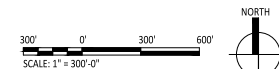
COUNTY ROAD, PLEASANTS VALLEY RD.

START OF PRIVATE ROAD, QUAIL CANYON RD.

QCR ROAD IMPROVEMENT

AS A CONDITION OF USE, OWNERS WILL MAKE ROAD IMPROVEMENTS PER S.R.A. REQUIREMENTS ALONG THE PRIVATE ROAD OF QUAIL CANYON ROAD. BEGINNING FROM THE SOUTHERN POINT AT THE TURNOFF FROM COUNTY ROAD ,PLEASANT VALLEY ROAD TO THE NORTHERN MOST POINT OF 8376 QUAIL CANYON ROAD PROPERTY.

THE OWNERS UNDERSTAND THE COMMUNITIES REQUEST FOR KEEPING THE ROAD A RURAL SETTING AND WILL MAKE THE ROAD IMPROVEMENTS ONLY NECESSARY TO MEET THE SRA REQUIREMENTS. ONCE USE PERMIT IS APPROVED FURTHER INVESTIGATIONS WILL BE MADE TO UNDERSTAND THE EXTENT OF IMPROVEMENTS. AS THE ROAD HAS SERVED MULTIPLE STATE RESPONDED FIRE EMERGENCIES WITHOUT ISSUE THE ROAD IMPROVEMENTS MAY BE MINOR.



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DOUBLE T RANCH
 8325 QUAIL CANYON ROAD,
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QCR
 ROAD
 IMPROVEMENT

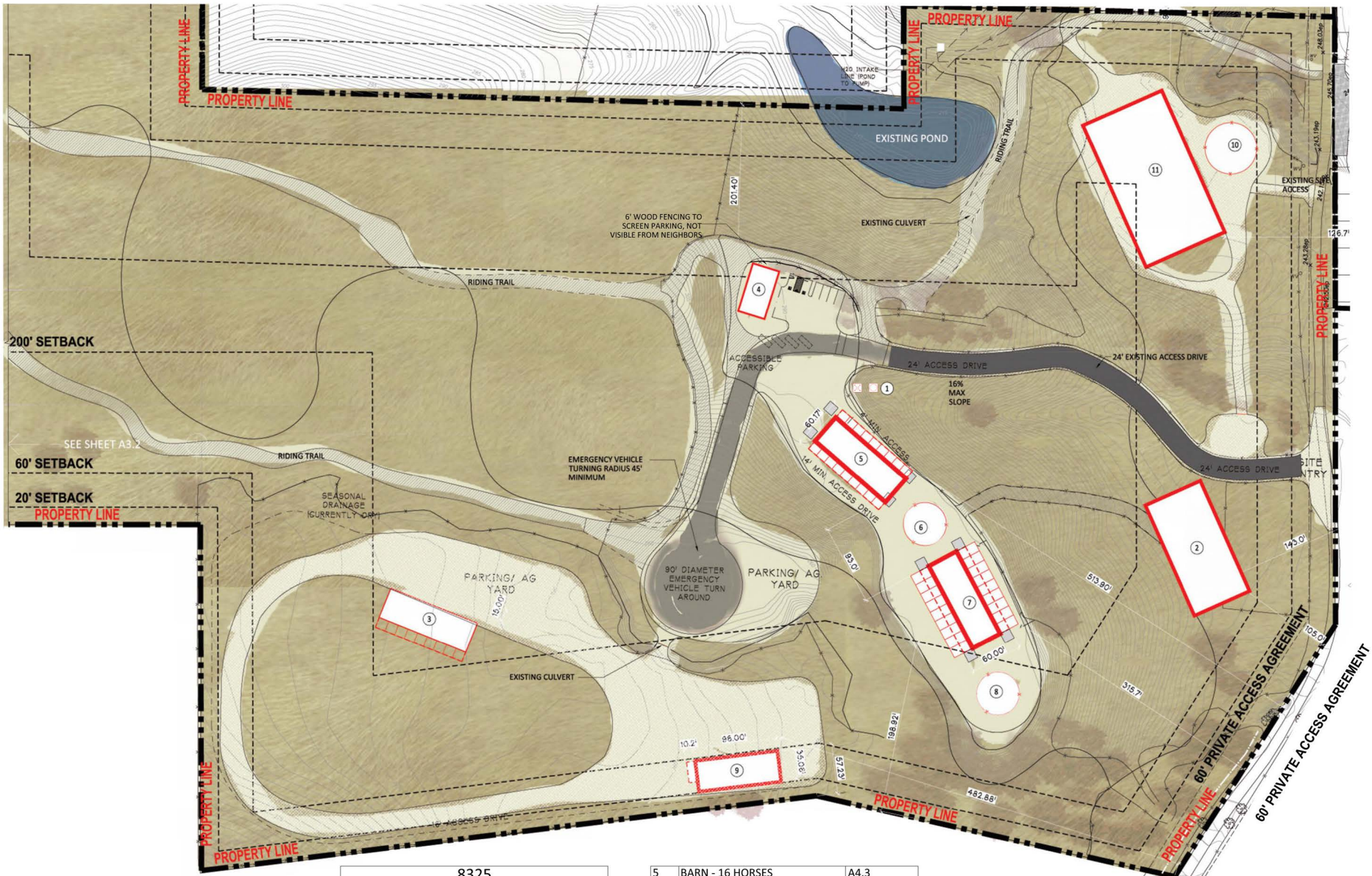
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8325		
NO.	TYPE OF BUILDING	PAGE
1	WATER TANK	A4.11
2	TRAINING ARENA	A4.4-A4.5
3	BARN - 16 HORSES	A4.1
4	ACCESSORY BUILDING	A4.8

5	BARN - 16 HORSES	A4.3
6	TRAINING RING	A4.10
7	BARN - 16 HORSES	A4.2
8	TRAINING RING	A4.10
9	ACCESSORY BUILDING	A4.9
10	TRAINING RING	A4.10
11	TRAINING ARENA	A4.6-A4.7

PARTIAL SITE PLAN
8325 QUAIL CANYON ROAD

SCALE: 1" = 50'-0"



KEY PLAN



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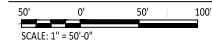
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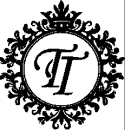
**PARTIAL SITE PLAN
8325 QUAIL CANYON ROAD**



KEY PLAN



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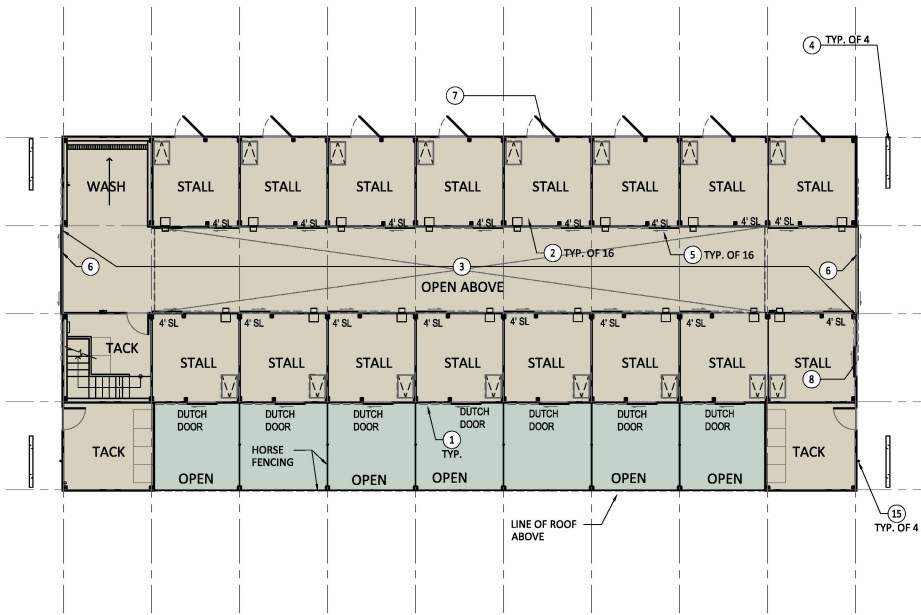
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 PLAN**

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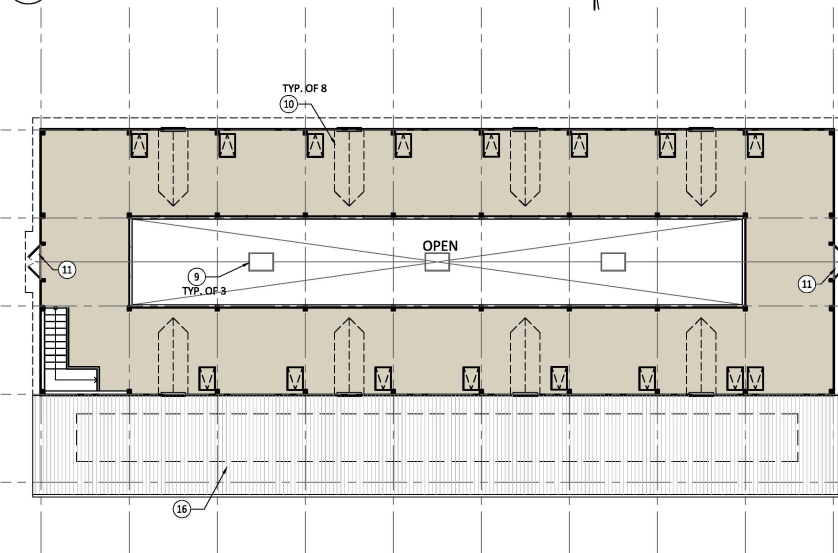
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A3.2
 SHEET OF



1 NORTH ANIMAL BARN TYPE I - LOWER FLOOR PLAN
SCALE: 1/8" = 1'-0"



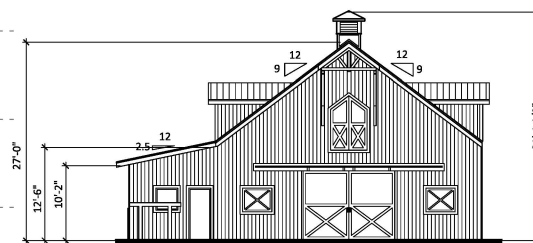
2 NORTH ANIMAL BARN TYPE I - UPPER PLAN
SCALE: 1/8" = 1'-0"



3 ANIMAL BARN (TYPE I) - PERSPECTIVE 1



4 ANIMAL BARN (TYPE I) - PERSPECTIVE 2



5 ANIMAL BARN (TYPE I) - ELEVATION

KEY NOTES:

1. ROUGH PLYWOOD SIDING WITH 1X4 VERTICAL BATTEN BOARDS, SIDING AND TRIM COLOR T.B.D.
2. RUBBER MAT OVER COMPACTED BASE ROCK AT ALL STALLS.
3. RUBBER TILE OVER COMPACTED BASE ROCK AT BREEZEWAY FLOOR.
4. (5'-0" HIGH, 7'-0" WIDE) HITTING POSTS.
5. INTERIOR STALL DOOR - DF-107 BLACK.
6. BREEZEWAY DOUBLE DOOR - WD-100-W SINGLE.
7. DUTCH STALL DOOR.
8. DUTCH STALL WINDOW - DW101.
9. CUPOLA C-101-B ABOVE.
10. 4' GABLE DORMERS.
11. HAY LOFT DOOR - BP-HD-105.
12. ALL ROOFS SHALL BE WHITE COLOR.
13. ALL FIXTURES AND HARDWARE SHALL BE BLACK.
14. GUTTERS AND DOWNSPOUTS AT 4 BUILDING CORNERS, COLOR T.B.D.
15. HOSE BIB, PROVIDE HOSE & HOSE HANGER.
16. AREA FOR SOLAR PANELS.

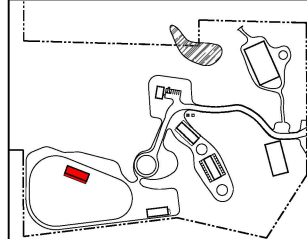


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PARTIAL KEY PLAN:



KEY PLAN



8' 0' 8' 16'
 SCALE: 1/8" = 1'-0"

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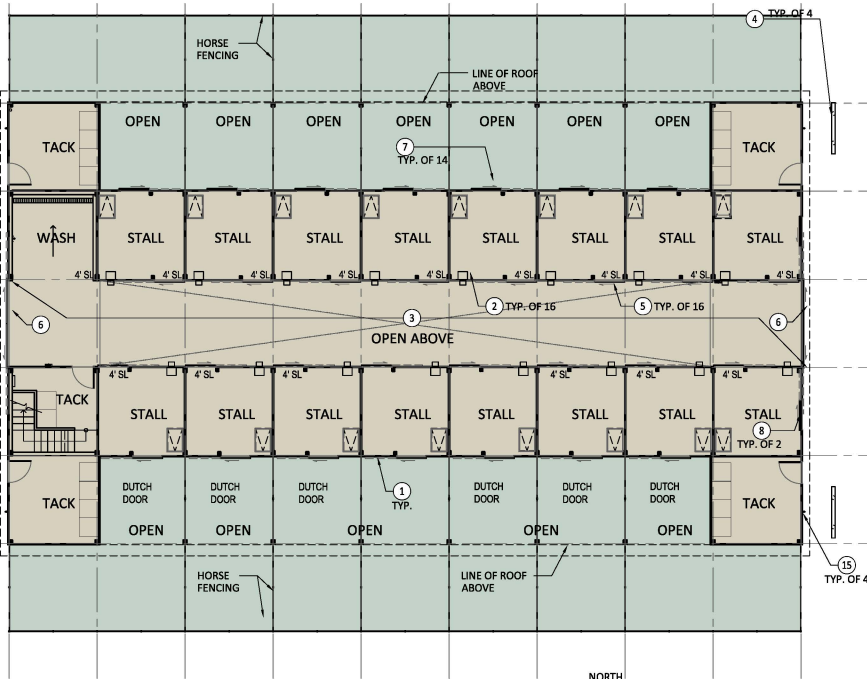
BARN PLANS AND PERSPECTIVES

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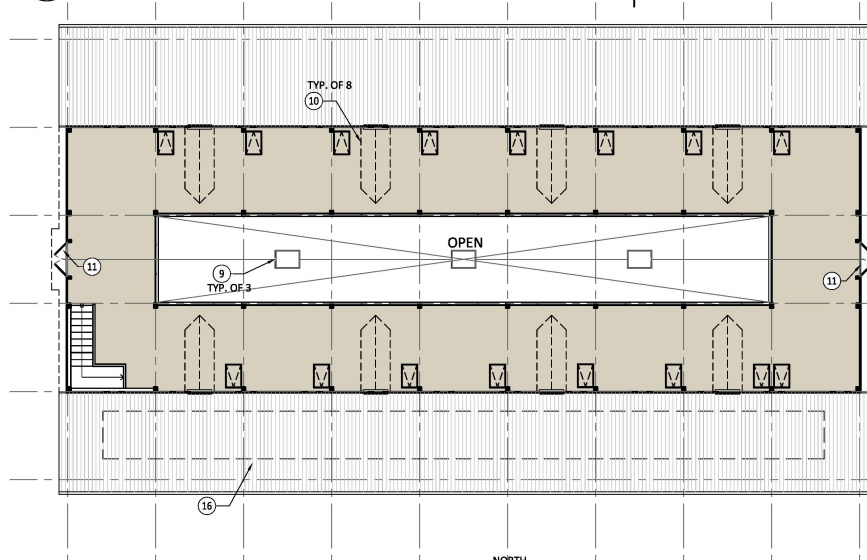
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1 SOUTH ANIMAL BARN (TYPE I) - LOWER FLOOR PLAN
SCALE: 1/8" = 1'-0"



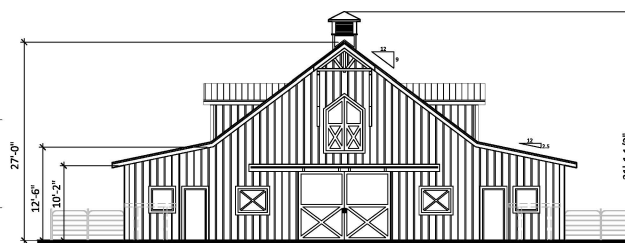
2 SOUTH ANIMAL BARN (TYPE I) - UPPER PLAN
SCALE: 1/8" = 1'-0"



3 ANIMAL BARN (TYPE I) - PERSPECTIVE 1

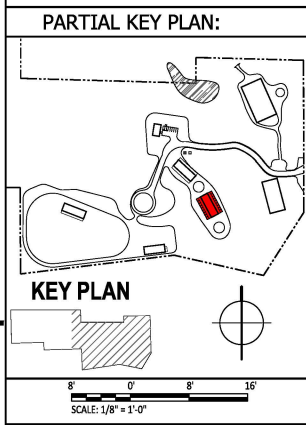


4 ANIMAL BARN (TYPE I) - PERSPECTIVE 2



5 ANIMAL BARN (TYPE I) - ELEVATION

- KEY NOTES:**
- ROUGH PLYWOOD SIDING WITH 1X4 VERTICAL BATTEN BOARDS, SIDING AND TRIM COLOR T.B.D.
 - RUBBER MAT OVER COMPACTED BASE ROCK AT ALL STALLS.
 - RUBBER TILE OVER COMPACTED BASE ROCK AT BREEZEWAY FLOOR.
 - (5'-0 HIGH, 7'-0 WIDE) HITTING POSTS.
 - INTERIOR STALL DOOR - DF-107 BLACK.
 - BREEZEWAY DOUBLE DOOR - WD-100-W SINGLE.
 - DUTCH STALL DOOR.
 - DUTCH STALL WINDOW - DW101.
 - CUPOLA C-101-B ABOVE.
 - 4' GABLE DORMERS.
 - HAY LOFT DOOR - BP-HD-105.
 - ALL ROOFS SHALL BE WHITE COLOR.
 - ALL FIXTURES AND HARDWARE SHALL BE BLACK.
 - GUTTERS AND DOWNSPOUTS AT 4 BUILDING CORNERS, COLOR T.B.D.
 - HOSE BIB, PROVIDE HOSE & HOSE HANGER.
 - AREA FOR SOLAR PANELS.



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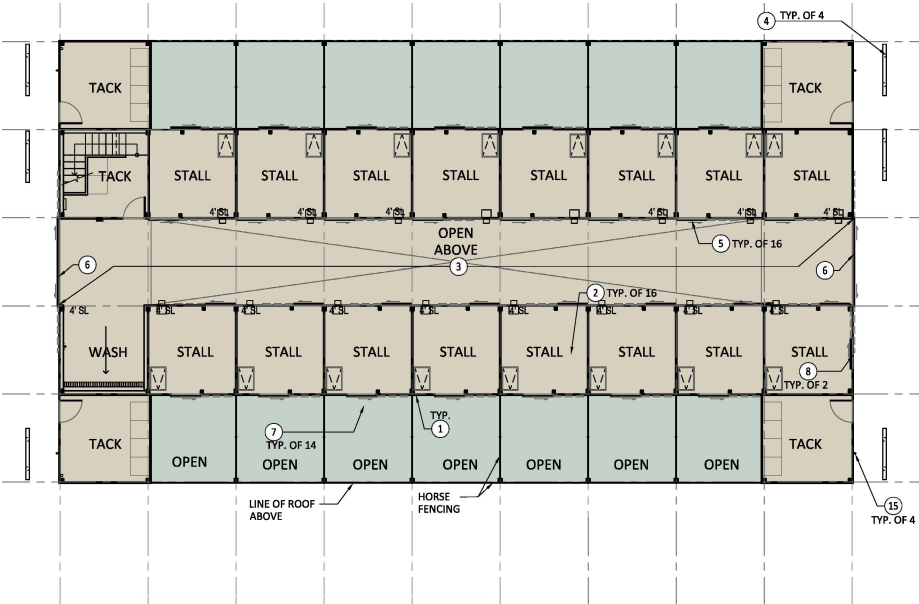
BARN PLANS AND PERSPECTIVES

SCALE: AS NOTED
 DATE: 08/12/2022

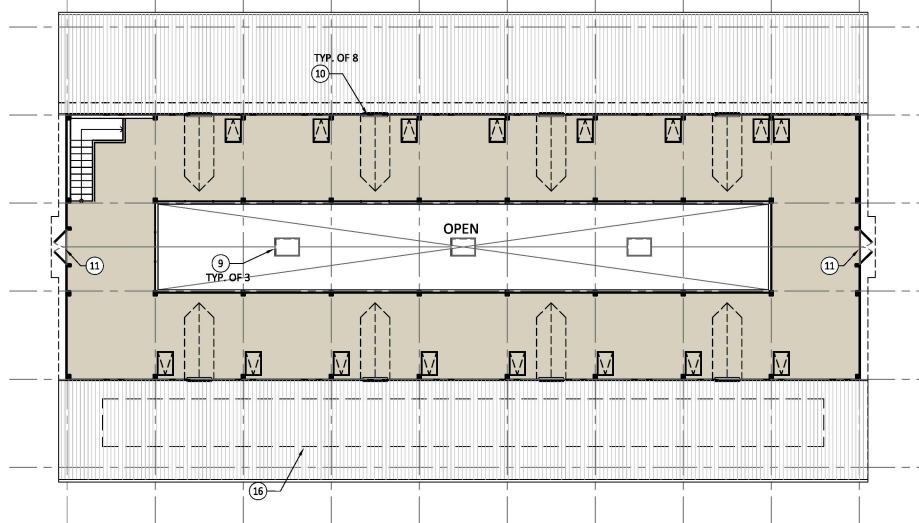
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A4.2
 SHEET OF



1 CENTER ANIMAL BARN (TYPE II) - LOWER FLOOR PLAN
SCALE: 1/8" = 1'-0"



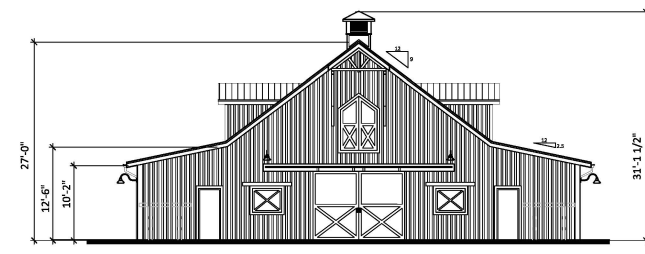
2 CENTER ANIMAL BARN (TYPE II) - UPPER PLAN
SCALE: 1/8" = 1'-0"



3 CENTER ANIMAL BARN (TYPE II) - PERSPECTIVE 1

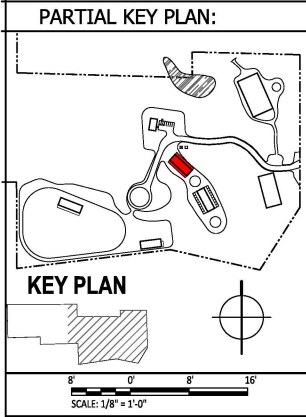


4 CENTER ANIMAL BARN (TYPE II) - PERSPECTIVE 2



5 ANIMAL BARN (TYPE I) - ELEVATION

- KEY NOTES:**
- ROUGH PLYWOOD SIDING WITH 1X4 VERTICAL BATTEN BOARDS. SIDING AND TRIM COLOR T.B.D.
 - BREEZEWAY DOUBLE DOOR - WD-100-W SINGLE.
 - DUTCH STALL DOOR.
 - DUTCH STALL WINDOW - DW101.
 - CUPOLA C-101-B ABOVE.
 - 4' GABLE DORMERS.
 - HAY LOFT DOOR - BP-HID-105.
 - ALL ROOFS SHALL BE WHITE COLOR.
 - ALL FIXTURES AND HARDWARE SHALL BE BLACK. COLOR T.B.D.
 - GUTTERS AND DOWNSPOUTS AT 4 BUILDING CORNERS.
 - HOSE BIB. PROVIDE HOSE & HOSE HANGER.
 - AREA FOR SOLAR PANELS.



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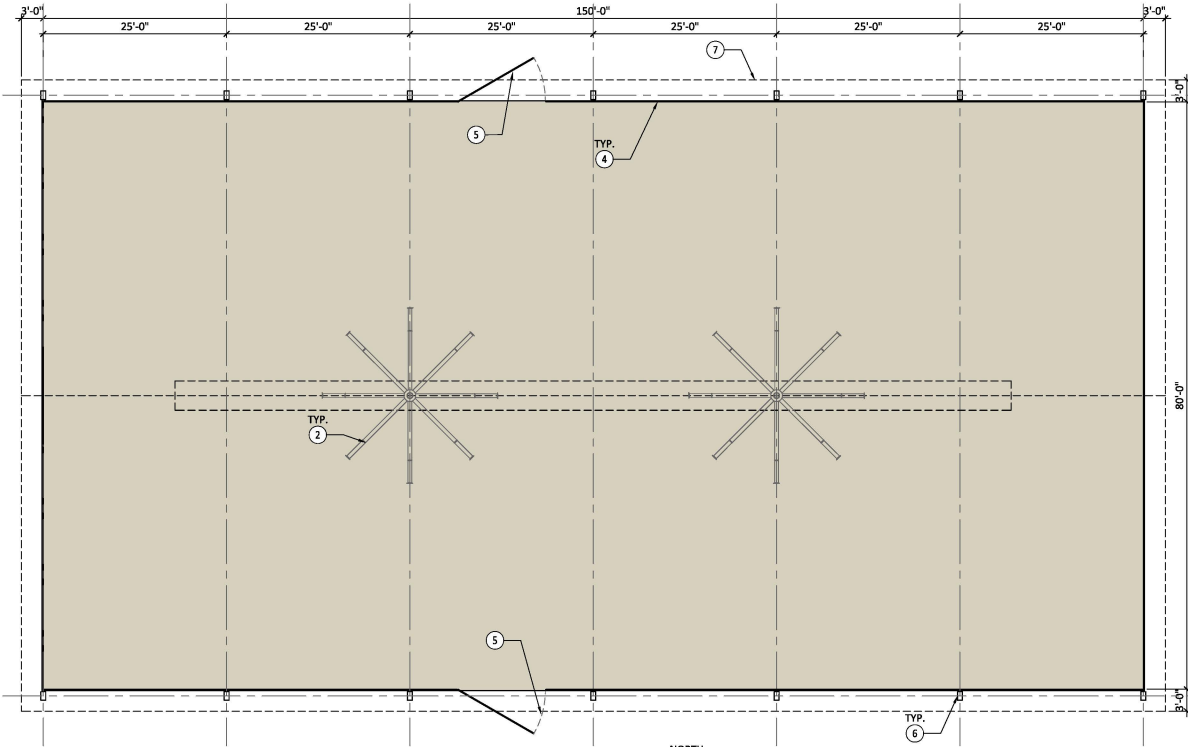
**BARN
 PLANS AND
 PERSPECTIVES**

SCALE: AS NOTED
 DATE: 08/12/2022

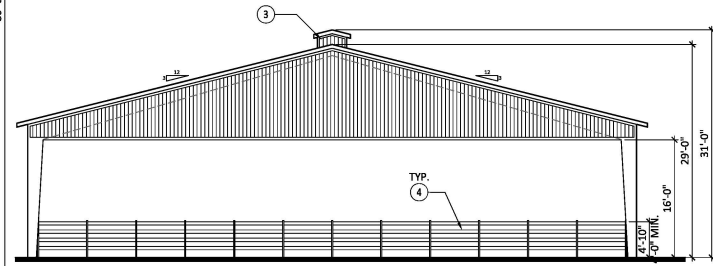
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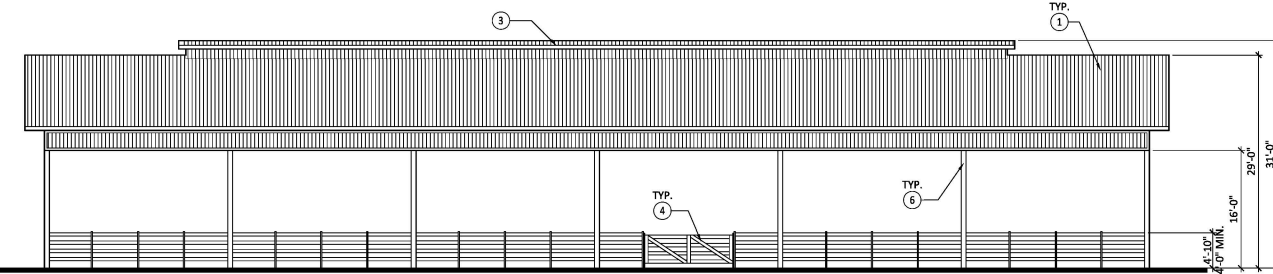
A4.3
 SHEET OF



1 ARENA TYPE I FLOOR PLAN
SCALE: 1/8" = 1'-0"



3 ARENA TYPE I FRONT ELEVATION
SCALE: 1/8" = 1'-0"



2 ARENA TYPE I SIDE ELEVATION
SCALE: 1/8" = 1'-0"

KEY NOTES:	PARTIAL KEY PLAN:
<ol style="list-style-type: none"> WHITE CORRUGATED METAL ROOF 24'-0" BIG ASS FAN RIDGE VENT HORSE FENCING HORSE FENCING GATE STEEL COLUMN ROOF LINE ABOVE 	
	<p>KEY PLAN</p>
	<p>SCALE: 1/8" = 1'-0"</p>



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**ARENA
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 ELEVATION
 PLANS**

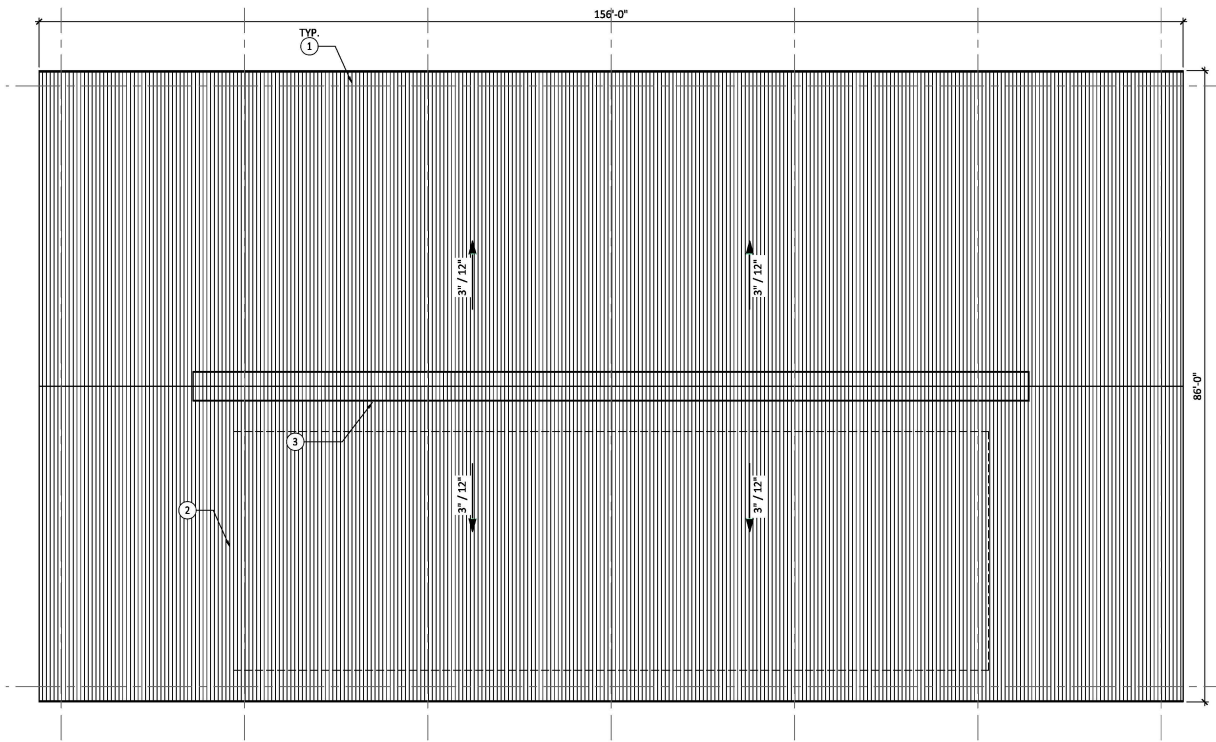
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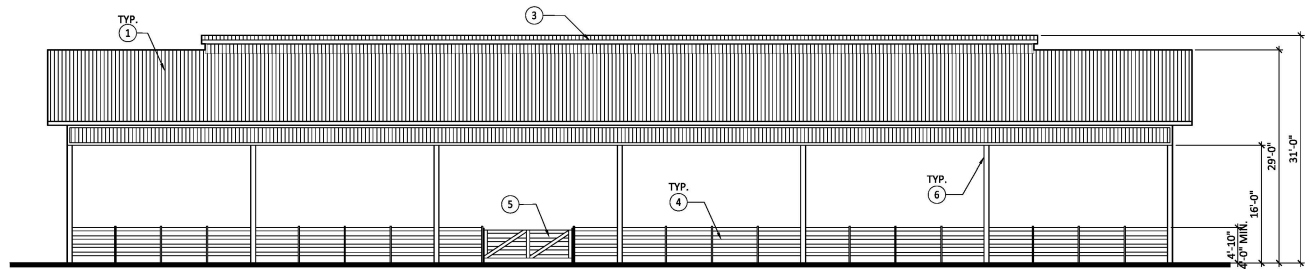
NO.	DATE	DESCRIPTION

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A4.4
 SHEET OF



1 ARENA TYPE I ROOF PLAN
SCALE: 1/8" = 1'-0"



2 ARENA TYPE I SIDE ELEVATION
SCALE: 1/8" = 1'-0"



3 ARENA TYPE I PERSPECTIVE 1



4 ARENA TYPE I PERSPECTIVE 2

KEY NOTES:	PARTIAL KEY PLAN:
<ol style="list-style-type: none"> WHITE CORRUGATED METAL ROOF AREA FOR SOLAR PANELS RIDGE VENT HORSE FENCING HORSE FENCING GATE STEEL COLUMN 	
	<p>KEY PLAN</p> <p>8' 0' 8' 16'</p> <p>SCALE: 1/8" = 1'-0"</p>



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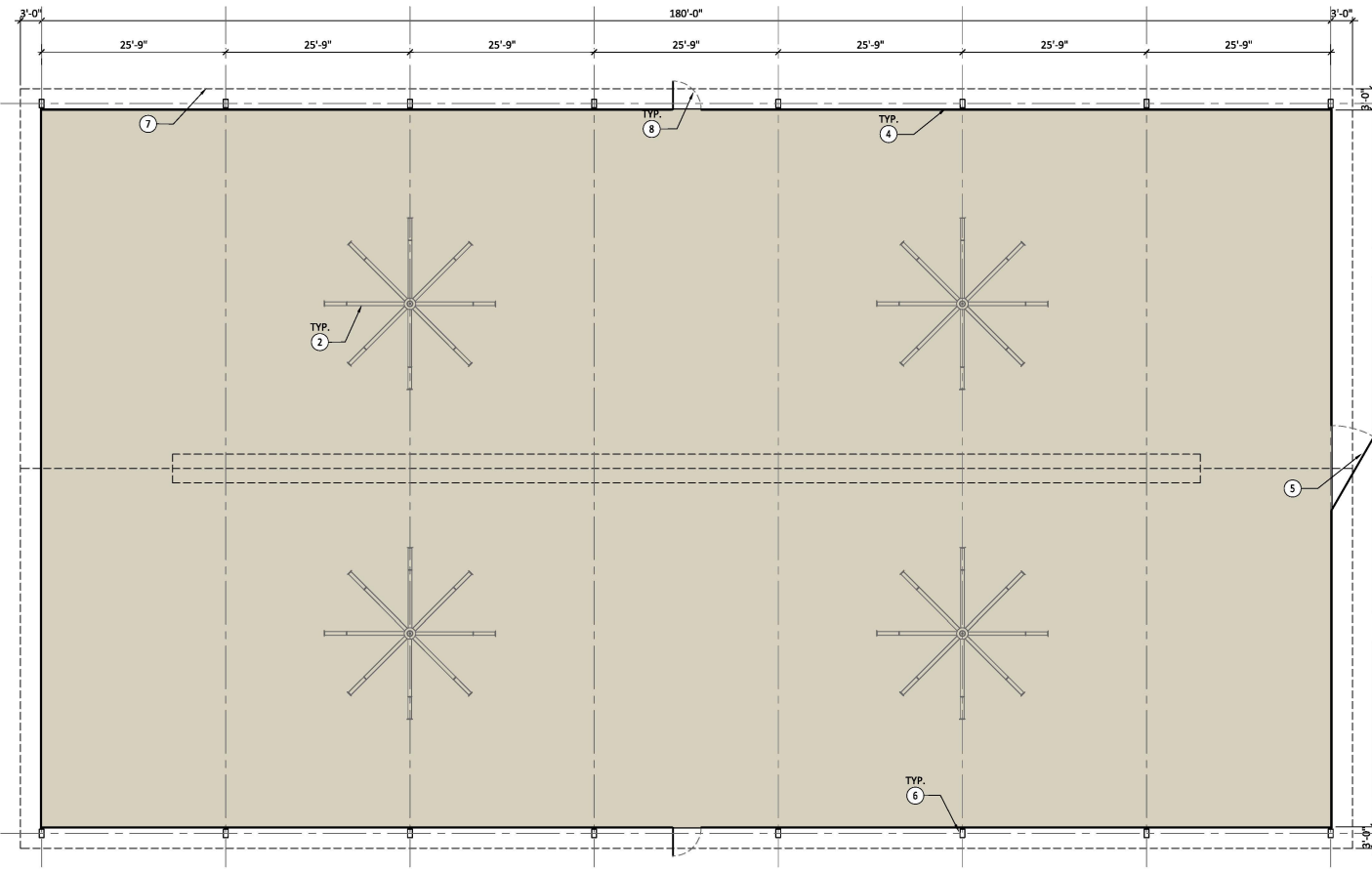
ARENA
 ROOF, ELEVATION
 PLAN AND
 PERSPECTIVES

SCALE: AS NOTED
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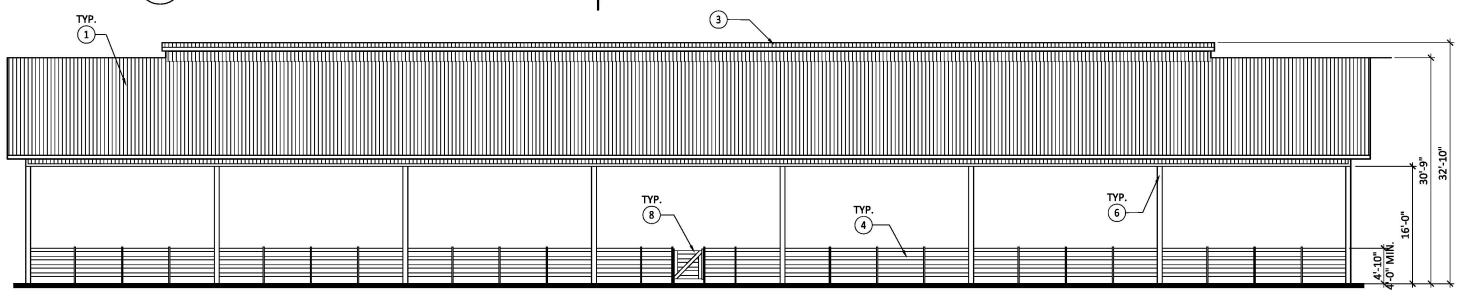
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A4.5
 SHEET OF



1 ARENA TYPE IV FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 ARENA TYPE IV SIDE ELEVATION
SCALE: 1/8" = 1'-0"

KEY NOTES:

- WHITE CORRUGATED METAL ROOF
- 24'-0" BIG ASS FAN
- RIDGE VENT
- HORSE FENCING
- HORSE FENCING GATE
- STEEL COLUMN
- ROOF LINE ABOVE
- ARENA DOOR

PARTIAL KEY PLAN:

KEY PLAN

SCALE: AS NOTED
DATE: 08/12/2022

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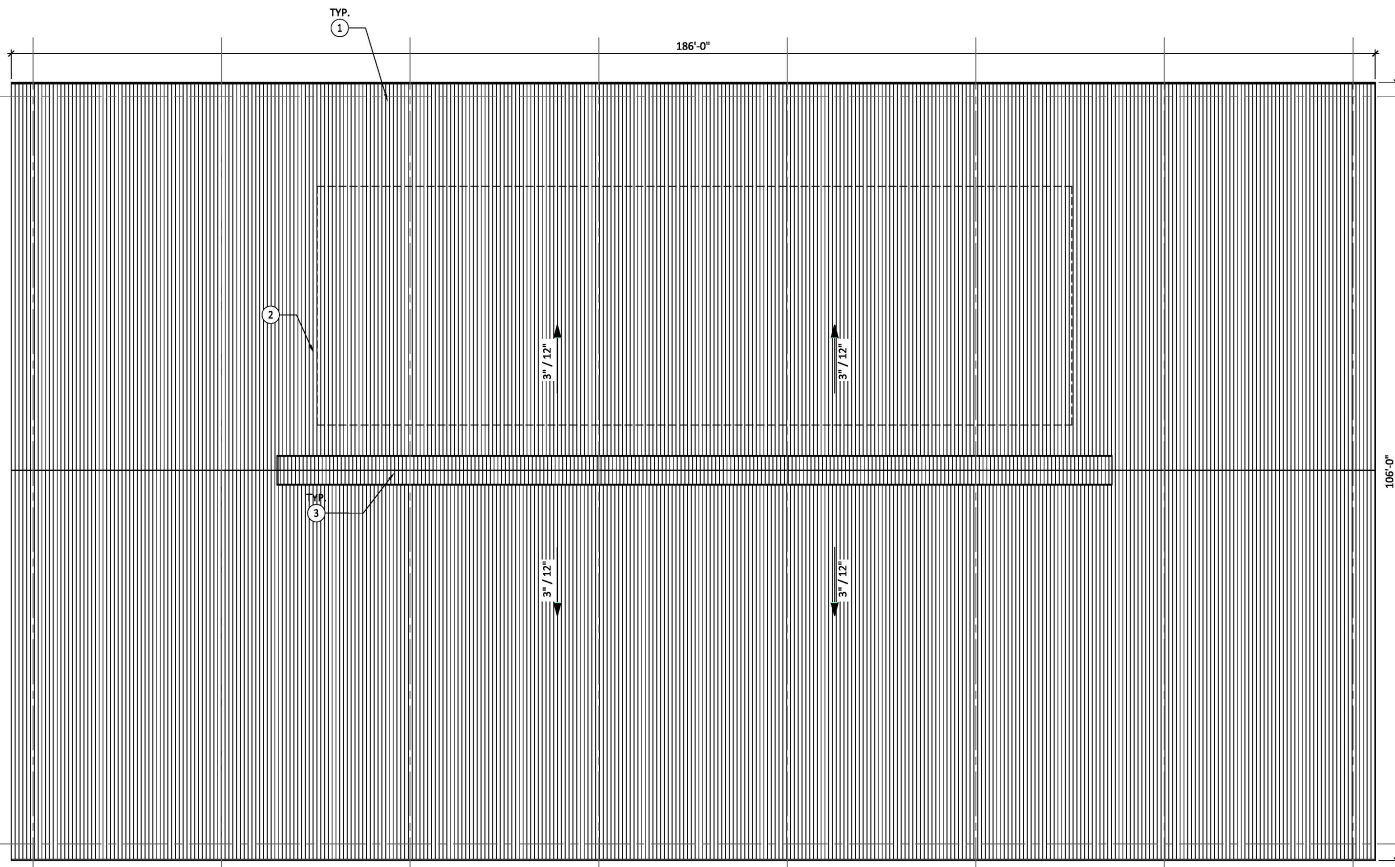
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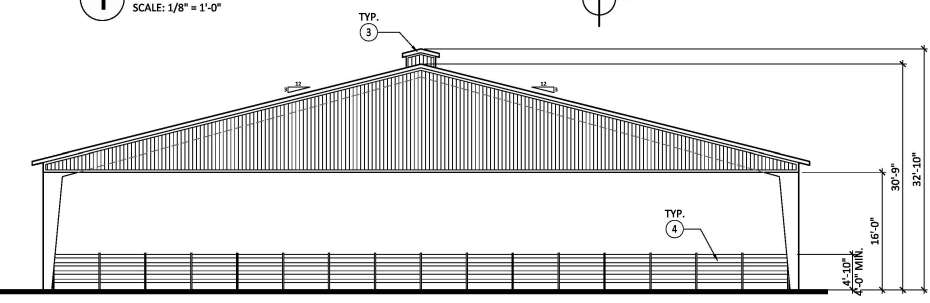
ARENA
FLOOR,
ELEVATION AND
PERSPECTIVES

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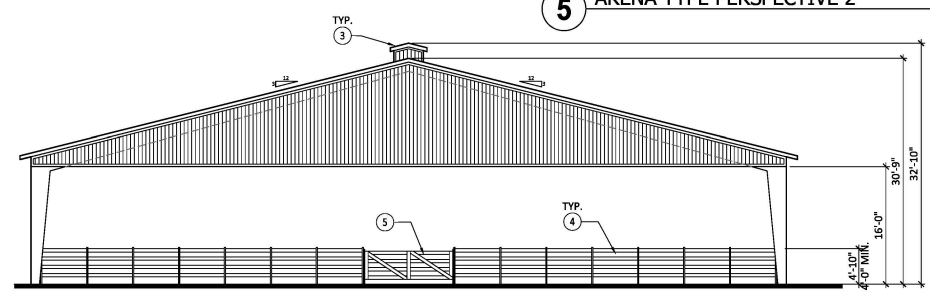
A4.6
SHEET OF



1 ARENA TYPE IV ROOF PLAN
SCALE: 1/8" = 1'-0"



2 ARENA TYPE IV FRONT ELEVATION
SCALE: 1/8" = 1'-0"



3 ARENA TYPE IV FRONT ELEVATION
SCALE: 1/8" = 1'-0"

KEY NOTES:	PARTIAL KEY PLAN:
<ol style="list-style-type: none"> WHITE CORRUGATED METAL ROOF AREA FOR SOLAR PANELS RIDGE VENT HORSE FENCING HORSE FENCING GATE 	<p>KEY PLAN</p> <p>8' 0' 8' 16'</p> <p>SCALE: 1/8" = 1'-0"</p>



4 ARENA TYPE IV PERSPECTIVE 1



5 ARENA TYPE PERSPECTIVE 2



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ARENA
 ROOF AND
 ELEVATION
 PLANS

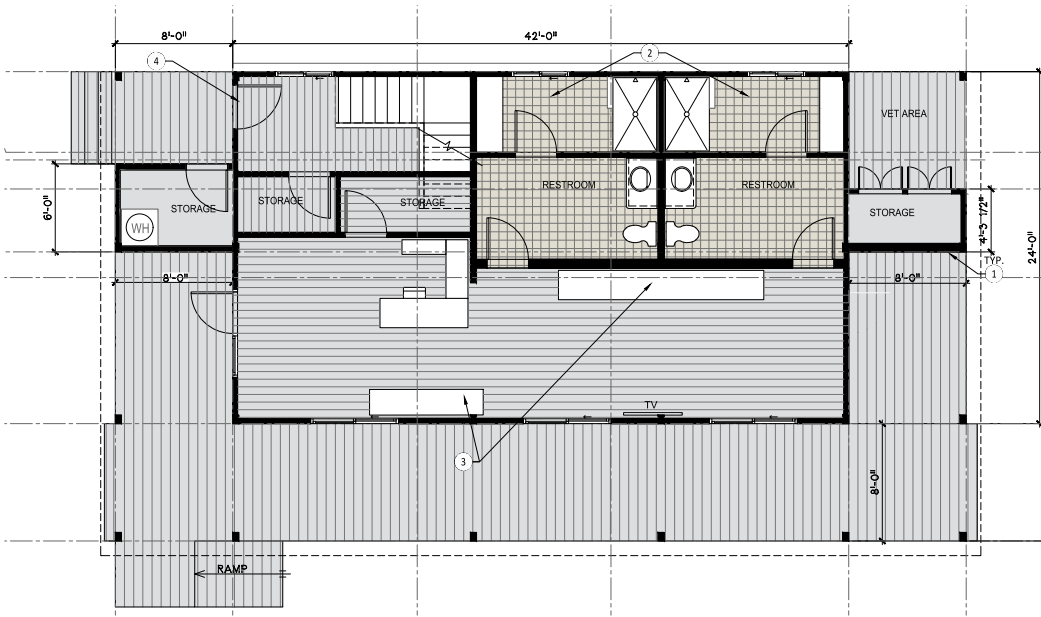
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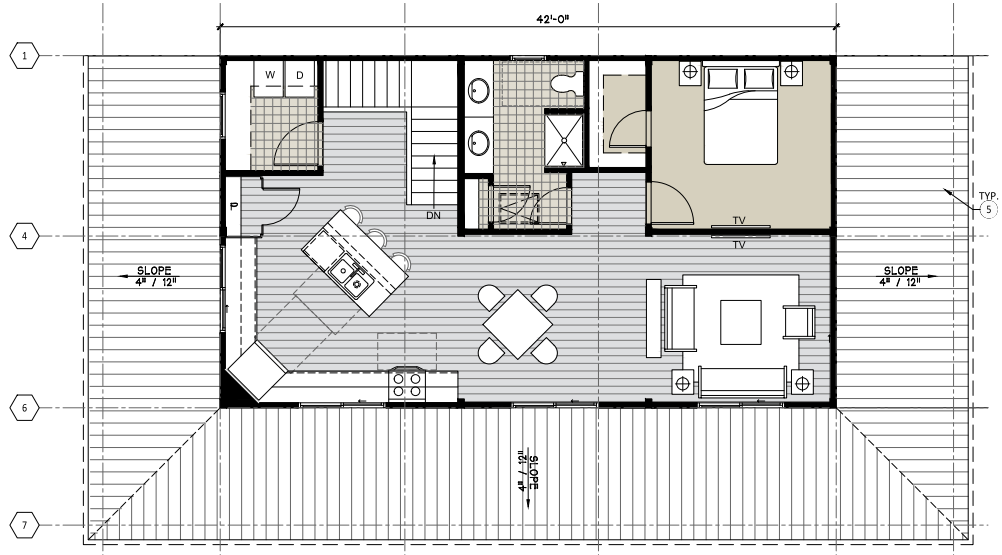
1 OFFICE TYPE II - LOWER FLOOR PLAN
SCALE: 1/4" = 1'-0"



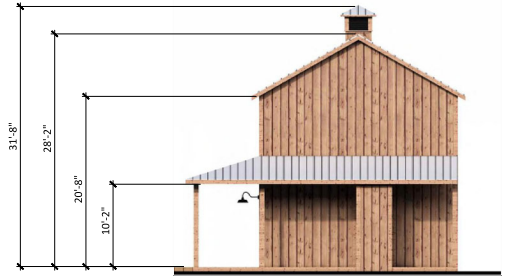
3 OFFICE TYPE II - PERSPECTIVE 1



4 OFFICE TYPE II - PERSPECTIVE 2



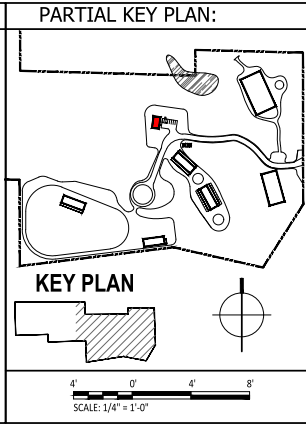
2 OFFICE TYPE II - UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"



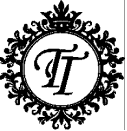
5 OFFICE TYPE II - ELEVATION

KEY NOTES:

1. CEMENTITIOUS SIDING
2. CHANGING + SHOWER ROOM
3. MERCHANDISE DISPLAY
4. APARTMENT ENTRY
5. ALL ROOFS SHALL BE WHITE COLOR.



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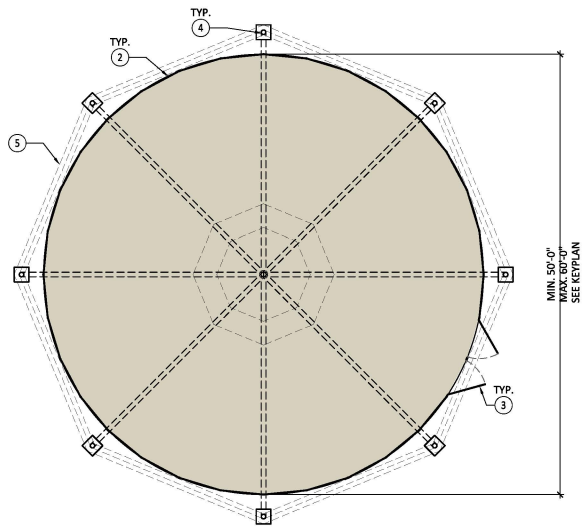
**OFFICE FLOOR PLAN
AND PERSPECTIVES**

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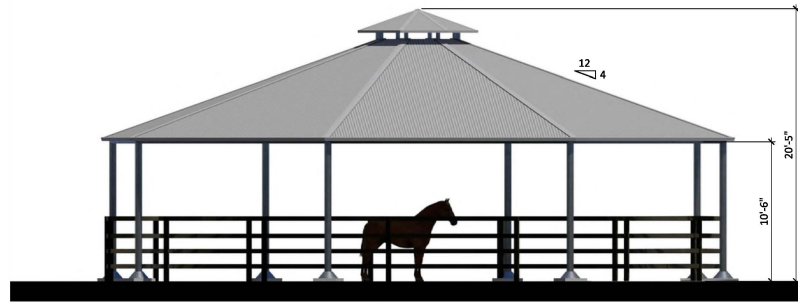
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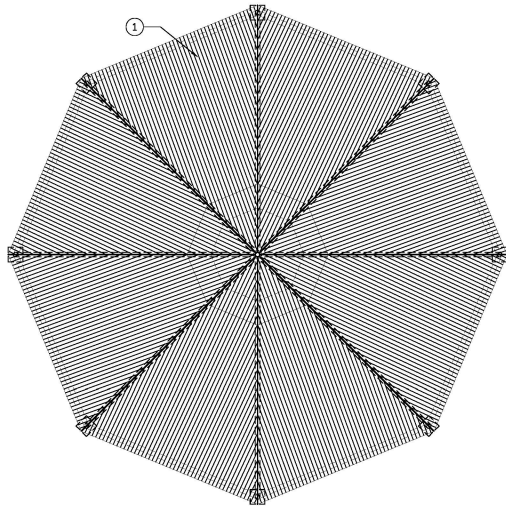
A4.8
SHEET OF



1 TRAINING RING - FLOOR PLAN
SCALE: 1/8" = 1'-0"



3 TRAINING RING - ELEVATION



2 TRAINING RING - ROOF PLAN
SCALE: 1/8" = 1'-0"



4 TRAINING RING - PERSPECTIVE

KEY NOTES:

1. WHITE CORRUGATED METAL ROOF
2. HORSE FENCING
3. HORSE FENCING GATE
4. STEEL COLUMN
5. ROOF LINE ABOVE

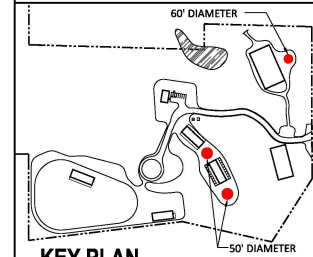


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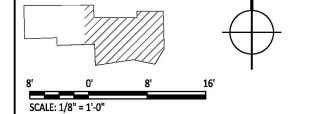


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PARTIAL KEY PLAN:



KEY PLAN



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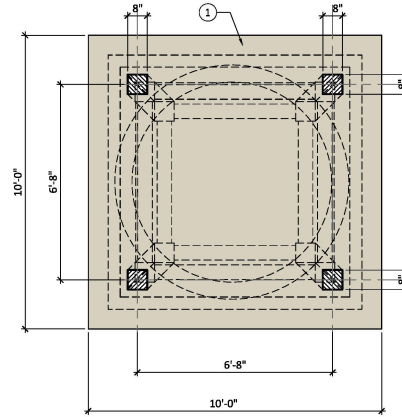
**TRAINING RING
 FLOOR & ROOF PLAN
 ELEVATION &
 PERSPECTIVE**

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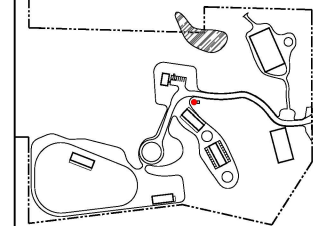
1 WATER TANK - FLOOR PLAN & ELEVATION
SCALE: 1/2" = 1'-0"



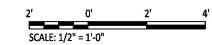
KEY NOTES:

1. CONCRETE PAD
2. WATER TANK, COLOR T.B.D

PARTIAL KEY PLAN:



KEY PLAN



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WATER
TANK PLANS
AND ELEVATIONS

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