

DEPARTMENT OF RESOURCE MANAGEMENT

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Planning Services Division

**Staff Report
 WA-24-01**

Application No. WA-24-01 Project Planner: Abigail Pipkin, Assistant Planner		Notice of Intent mailed out: Yes ZA Agenda: October 3, 2024	
Applicant Jody Brazil – Brazil Ranches – Dixon, LLC P.O. Box 750115 Petaluma, CA 94975-0115		Property Owner Same as the applicant.	
Action Requested Consideration of Neighborhood Compatibility Waiver WA-24-01 from Jody Brazil to waive the enclosed two (2) car garage requirement for a primary dwelling per section 28.27.10 B of the Solano County Code in favor of two (2) gravel parking spaces to the south of the proposed dwelling at 7401 Binghamton Road, approximately 5.4 miles southwest of the City of Dixon in the Exclusive Agriculture (A-80) Zoning District, APN 0143-150-110.			
Property Information			
Size: 157 acres		Location: 7401 Binghamton Road	
APN: 0143-150-110			
Zoning: Agricultural 80 acre (A-80)		Land Use: Agriculture	
General Plan: Agriculture – Resource Conservation Overlay		Ag. Contract: WA 629	
Utilities: Maine Prairie Water District		Access: Binghamton Rd	
Adjacent General Plan Designation, Zoning District, and Existing Land Use			
	General Plan	Zoning	Land Use
North	Agricultural – Resource Conservation Overlay	Agricultural – 80 acre	Agriculture
South	Agricultural – Resource Conservation Overlay	Agricultural – 80 acre	Agriculture
East	Agricultural – Resource Conservation Overlay	Agricultural – 80 acre	Agriculture
West	Agricultural	Agricultural – 80 acre	Agriculture
Environmental Analysis The Neighborhood Compatibility Waiver application is a ministerial action, therefore exempt from the provisions of the California Environmental Quality Act per CEQA Section 21080(b)(1).			
Motion to Approve Staff recommends that the Director approve the Neighborhood Compatibility Waiver Application No. WA-24-01.			

SITE DESCRIPTION

The subject site, Assessor Parcel Number (APN 0143-150-110), is located at 7401 Binghamton Road, approximately five (5) miles southeast of the City of Dixon. The parcel is used for cattle ranching and the existing development consists of a barn.

Figure 1 below is a vicinity map indicating the subject site's location.

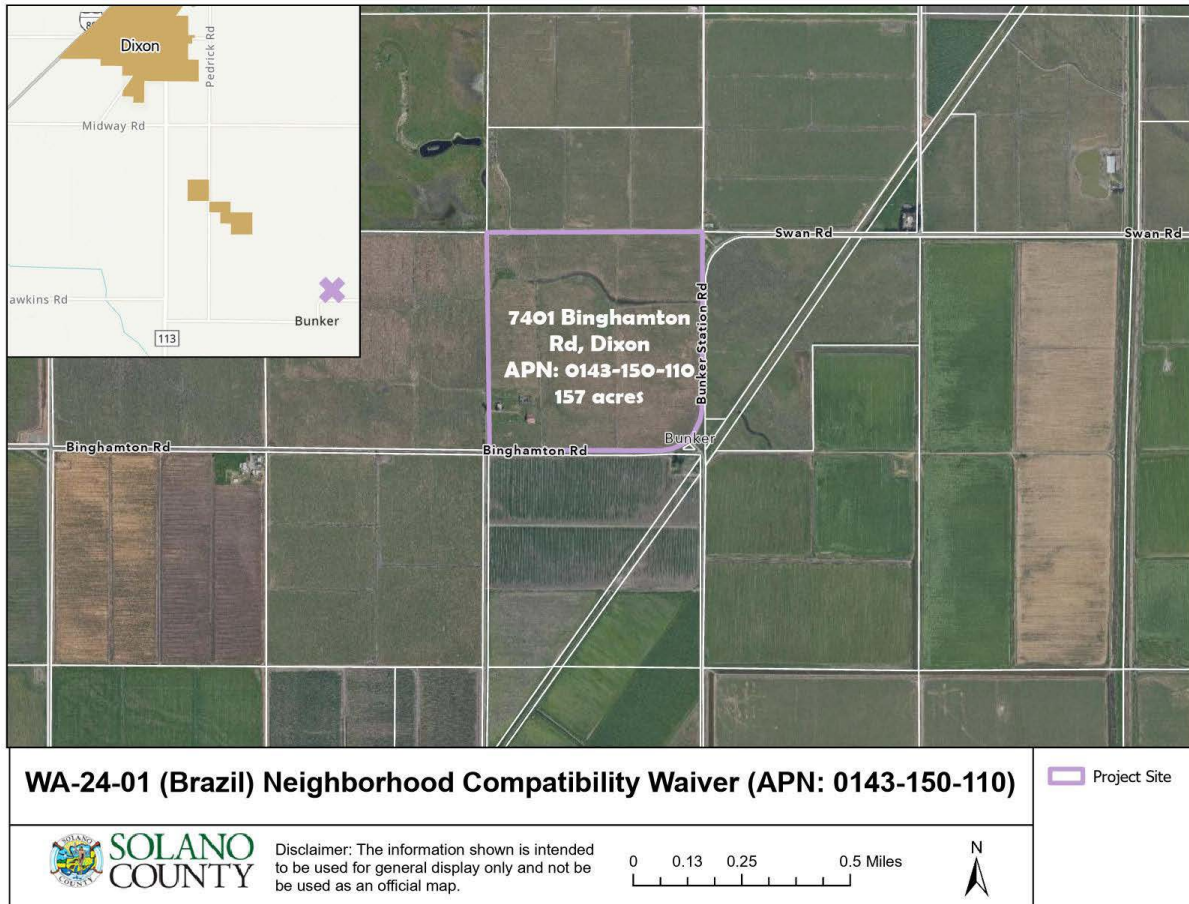


Figure 1 - Vicinity Map

PROJECT DESCRIPTION

The applicant proposes a new single-family dwelling used as the ranch caretaker's residence that meets all of the standards for a Primary Dwelling in Section 28.72.10 except for the two-car enclosed garage requirement in Section 28.72.10(B)(1). The applicant has requested this Neighborhood Compatibility Waiver to waive the two-car enclosed garage standard per Section 28.108(A) of the Solano County code and instead provide a gravel parking area 24' x 30' with adequate parking for two residential vehicles to the south of the proposed residence (Attachment A).

The new home replaces an agriculture employee home that was destroyed by a fire on the ranch. The additional costs of adding a garage would push the rebuild beyond what can be afforded for a replacement.

NEIGHBORHOOD COMPATIBILITY ANALYSIS

The parcel is located in rural Dixon on a 157-acre parcel. The surrounding zoning enforces a minimum parcel size of 80 acres, leading to a low-density population. The surrounding environment is largely used for agriculture, and many of the existing dwellings pre-date the enclosed two-car garage requirement. The dwelling that was destroyed in the fire did not have a garage, therefore the proposed project is consistent with the parcel's historic development.

NOTICE OF INTENT

Pursuant to Section 28.04 (F) Notice for Waivers, a 10-day Notice of Intent has been provided to property owners contiguous to the project location as shown on the latest equalized assessment roll. As of this writing, no objection from any adjacent property owner has been received.

RECOMMENDATION

Based on these findings of neighborhood compatibility, staff recommends that the Director approve Waiver application number WA-24-01 to waive the enclosed two (2) car garage requirement for the proposed primary dwelling in favor of a gravel 24' x 30' parking area where two (2) residential vehicles can adequately be stored, located at 7401 Binghamton Road, APN 0143-150-110.

ZONING ADMINISTRATOR APPROVAL

As Zoning Administrator of Solano County, I, Allan Calder, hereby approve Neighborhood Compatibility Waiver Application No. WA-24-01 and waive the enclosed two (2) car garage requirement for the as-built primary dwelling in favor of two (2) uncovered parking spaces adjacent to the driveway and proposed dwelling, located at 7401 Binghamton Road, APN 0143-150-110.

Attachment A: Site Plan

Attachment B: Notice of Intent

Approved by:



Allan Calder, Planning Program Manager

Date: October 3, 2024

KEYED NOTES:

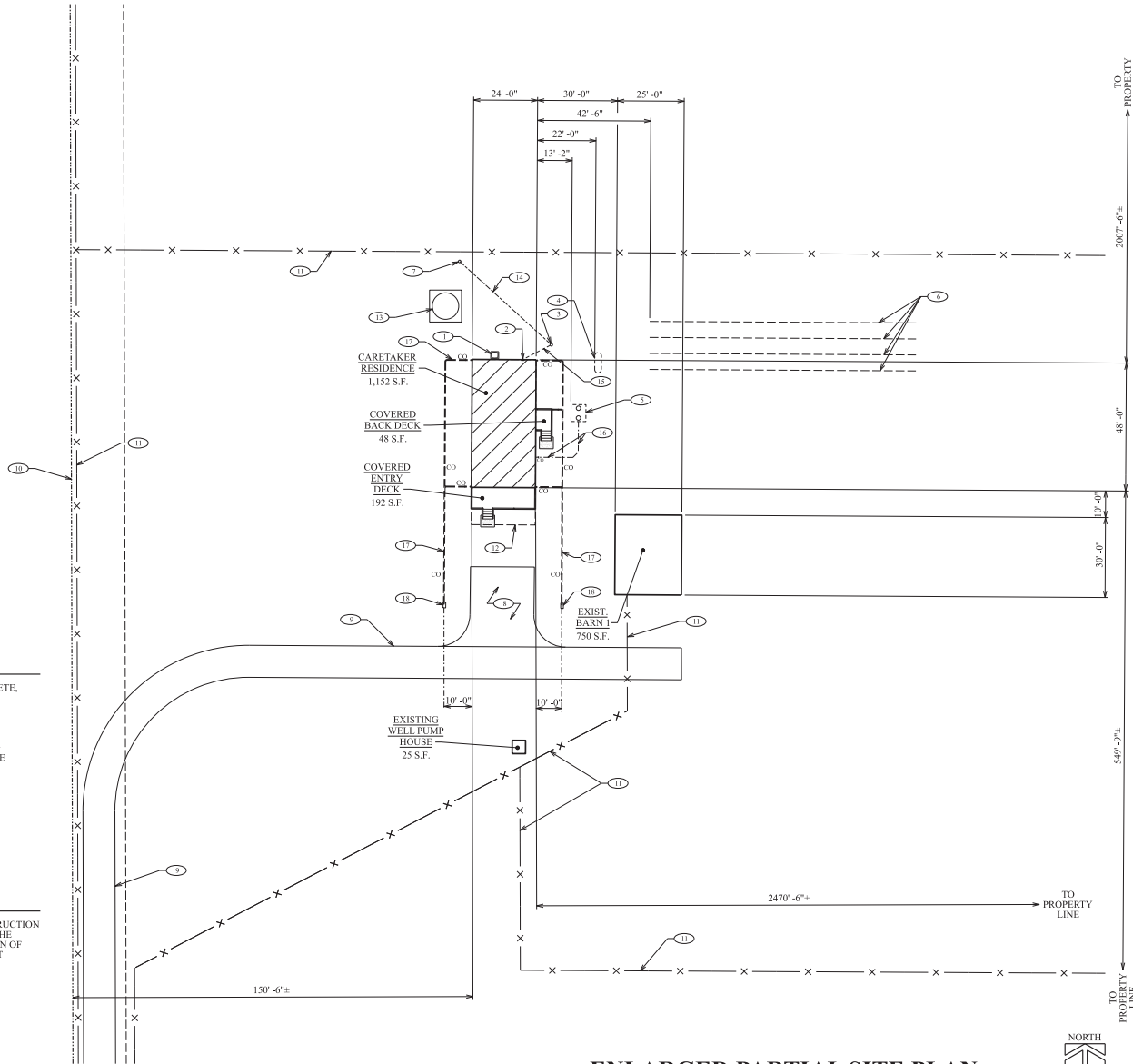
- 1 HVAC CONDENSING UNIT ON RAISED PLATFORM.
- 2 200A ELECTRICAL PANEL.
- 3 EXISTING POLE AND ELECTRICAL PANEL - DISCONNECT ELECTRICAL POWER LINE AND REDIRECT TO NEW ELECTRICAL PANEL ON RESIDENCE
- 4 EXISTING 250 GALLON PROPANE TANK TO BE REMOVED.
- 5 EXISTING 1,500 GALLON SEPTIC TANK.
- 6 EXISTING 100 L.F. LEACH LINES - TOTAL OF 4 LINES.
- 7 EXISTING UTILITY POLE.
- 8 24' X 30' GRAVEL TWO-CAR PARKING AREA.
- 9 EXISTING GRAVEL DRIVEWAY.
- 10 PROPERTY LINE.
- 11 EXISTING CATTLE FENCE.
- 12 LOCATION OF MOBILE HOME EMPLOYEE RESIDENCE DESTROYED BY FIRE AND BEING REPLACED WITH THIS NEW RESIDENCE.
- 13 ABOVE GROUND WATER STORAGE TANK FOR DOMESTIC USE AND FIRE SPRINKLER SYSTEM ON CONCRETE PAD - TANK CAPACITY TO BE DETERMINED BY FIRE SPRINKLER CONTRACTOR AND BASED ON THE REQUIRED FLOW DEMAND.
- 14 EXISTING OVERHEAD POWER LINE TO REMAIN.
- 15 UNDERGROUND POWER LINE FROM POLE TO ELECTRICAL PANEL.
- 16 4" ABS SEWER PIPE WITH CLEAN-OUT FROM HOUSE TO EXISTING SEPTIC TANK. ALL JOINTS TO BE WATER-TIGHT.
- 17 4" ABS RAINWATER LEADER PIPE WITH CLEAN-OUTS AT 50'-0" O.C. MAX.
- 18 DAYLIGHT RAINWATER LEADER ON CONCRETE SPLASH BLOCK.

GENERAL NOTES:

- 1. CONCRETE FLATWORK SHALL BE A MINIMUM OF 4" THICK CONCRETE, REINFORCED WITH #4 BARS AT 18" O.C. EACH WAY. PRESATURATE SUBGRADE PRIOR TO CONCRETE PLACEMENT. THE CONCRETE FLATWORK SHALL BE SLOPED FOR PROPER DRAINAGE TO AVOID PONDING OF WATER AND AWAY FROM ADJACENT PROPERTIES.
- 2. GRADE AREA AROUND BUILDING TO SLOPE AWAY FROM BUILDING AT 5% MINIMUM SLOPE FOR A MINIMUM DISTANCE OF 10'-0" WHERE POSSIBLE, AND FOR THE MAXIMUM DISTANCE POSSIBLE WHERE PROPERTY LINE IS WITHIN 10'-0" OF BUILDING. DRAIN PROPERTY AROUND BUILDING TO PUBLIC DRAINAGE SYSTEM OR TO ON-SITE PRIVATE STORM DRAINAGE SYSTEM. DO NOT ALLOW STORM WATER TO DRAIN ACROSS PROPERTY LINE TO ADJACENT PRIVATE PROPERTY.

FLOOR ELEVATION CERTIFICATION:

- 1. PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT, A PRE-CONSTRUCTION ELEVATION CERTIFICATE IS REQUIRED FOR THE RESIDENCE AND THE GARAGE TO ESTABLISH THE MINIMUM FINISHED FLOOR ELEVATION OF EACH BUILDING TO BE A MINIMUM OF 3-FEET ABOVE THE HIGHEST ADJACENT GRADE ELEVATION.
- 2. PRIOR TO FINAL INSPECTION, A POST-CONSTRUCTION ELEVATION CERTIFICATE IS REQUIRED FOR THE RESIDENCE AND THE GARAGE FOR VERIFICATION THAT THE FINISHED FLOOR ELEVATION IS A MINIMUM OF 3-FEET ABOVE THE HIGHEST ADJACENT GRADE ELEVATION AT EACH BUILDING.



ENLARGED PARTIAL SITE PLAN

0 20 40 60 1" = 20'-0"



REVISIONS

CARETAKER RESIDENCE
 BRAZIL RANCHES-DIXON, LLC
 7401 BINGHAMTON ROAD
 DIXON, CALIFORNIA

MARK L. GARY - ARCHITECT
 CALIFORNIA LICENSE NUMBER C 23065
 2530 LOS FELIZ WAY
 CARMICHAEL, CALIFORNIA 95608
 (916) 418-4405

DATE: JUNE 17, 2024
 DRAWN: MLG
 PROJECT: 2210
 SHEET:

DEPARTMENT OF RESOURCE MANAGEMENT

JAMES BEZEK
Director
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NOTICE of INTENT
Community Compatibility Waiver
WA-24-01

This notice is to inform you that the Solano County Department of Resource Management has received Neighborhood Compatibility Waiver application no. WA-24-01 from Jody Brazil to waive the enclosed two (2) car garage requirement for a primary dwelling per section 28.27.10 B of the Solano County Code in favor of two (2) gravel parking spaces to the south of the proposed dwelling at 7401 Binghamton Road, approximately 5.4 miles southwest of the City of Dixon in the Exclusive Agriculture (A-80) Zoning District, APN 0143-150-110.

Pursuant to Section 28.108(A) of the Zoning Regulations, granting of this waiver request would remove these minimum development standards for the primary dwelling, as required by Section 28.72.10(A)(2) of the Solano County Code.

This Department will consider any responses received within the ten (10) day notice period.

If you have any questions or concerns regarding this waiver request, please contact this office at (707)-784-6765 no later than 10:00 a.m. on Thursday, October 3, 2024.

Contact: **Abi Pipkin, Assistant Planner**
Planning Services Division
Office Line: (707)-784-3112
apipkin@solanocounty.com

See vicinity map on reverse side.



Figure 1: Vicinity Map of 7401 Binghamton Rd, Dixon, CA